

GENERAL NOTES	GOVERNING CODES	CIVIL ABBREVIATIONS	FIRE CODE COMPLIANCE																																																																																																																				
<p>1. CONTRACT DRAWINGS ARE INTENDED TO REPRESENT DESIGN INTENT. DIMENSIONAL ACCURACY IS THE RESPONSIBILITY OF THE CONTRACTORS FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION, AND CONSTRUCTION. ANY DISCREPANCIES AND/OR OMISSIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION.</p> <p>2. ANY AREA OUTSIDE THE LIMITS OF CONSTRUCTION DISTURBED BY OPERATIONS OF THE CONTRACTOR SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE.</p> <p>3. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TEMPORARY EQUIPMENT COVERINGS USED DURING CONSTRUCTION AND FOR REMOVING HIS TRASH OFF OF THE JOB SITE DAILY.</p> <p>4. ALL INTERIOR AND EXTERIOR WALL PENETRATIONS TO BE SEALED. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR DETAILS OF UTILITY WALL PENETRATIONS.</p> <p>5. G.C. TO PROVIDE OPENINGS AS REQUIRED FOR MECHANICAL & ELECTRICAL EQUIPMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVISIONS AND INSTALLATION OF ALL SUPPLEMENTAL MISC. IRON AND/OR STRUCTURAL STEEL STUDDING REQUIRED TO ADEQUATELY SUPPORT ALL DRYWALL DROP SOFFITS, BULKHEADS, ETC. FROM THE STRUCTURE ABOVE.</p> <p>6. DRYWALL CONTRACTOR SHALL CLOSELY COORD. THE INSTALLATION OF THE REQ'D. SUPPLEMENTAL MISC. IRON AND/OR STRUCTURAL STL. STUDDING SO AS NOT TO INTERFERE WITH THE INSTALLATION OF DUCTWORK, PIPING, CONDUIT, SPRINKLER SYSTEM AND/OR ACOUSTICAL TILE SUSPENDED CEILING SYSTEM.</p> <p>7. ALL DRYWALL PARTITIONS EXTENDING TO UNDERSIDE OF DECK ABOVE SHALL HAVE A 3/4" SLIP CONNECTION AT TOP OF WALL.</p> <p>8. ALL DRYWALL PARTITIONS ARE DIMENSIONED FACE OF METAL OR WOOD STUDS.</p> <p>9. ALL DRYWALL PARTITIONS TO RECEIVE RECESSED ELECT. PANELS SHALL BE CONSTRUCTED OF 6" METAL OR WOOD STUDS.</p> <p>10. WHERE TWO DISSIMILAR METALS MEET, PAINT FACE OF ONE WITH BITUMINOUS PAINT.</p> <p>11. ALL WOOD BLOCKING & FRAMING IN BUILDING TO BE FIRE RETARDANT TREATED.</p> <p>12. ALL EXPOSED WOOD & METAL IS TO BE PAINTED.</p> <p>13. IN CASE OF DIFFERENCE BETWEEN ARCH. & STRUCTURAL DRAWINGS, DIMENSIONS IN ARCH. DRAWINGS SHOULD BE FOLLOWED.</p>	<p>BUILDING/DWELLING CODE: IBC 2009; IRC2009</p> <p>STRUCTURAL CODE: IBC 2009</p> <p>PLUMBING CODE: PHILADELPHIA PLUMBING</p> <p>MECHANICAL CODE: IMC 2009</p> <p>ELECTRICAL CODE: IBC 2009; NEC 2008</p> <p>ACCESSIBILITY CODE: IBC 2009, CH. 11 & ICC/ANSI A117.1-2003</p> <p>ENERGY CODE: IECC 2009</p> <p>ADMINISTRATIVE CODE: PHILADELPHIA ADMINISTRATIVE CODE</p> <p>PROPERTY CODE: PHILADELPHIA PROPERTY MAINTENANCE CODE</p> <p style="text-align: center;">ZONING CLASSIFICATION</p> <p>ZONING CLASSIFICATION: RSA-5 PROPOSED USAGE: SINGLE FAMILY RESIDENCE</p> <p style="text-align: center;">ZONING RESTRICTIONS</p> <p>LOT WIDTH (MINIMUM): 16 FT.</p> <p>LOT AREA (MINIMUM): 1,440 SQ. FT.</p> <p>FRONT SETBACK: THE FRONT SETBACK SHALL BE NO FURTHER FROM THE STREET THAN THE FURTHEST FRONT FAÇADE OF THE PRINCIPAL BUILDING ON EITHER OF THE TWO IMMEDIATELY ABUTTING LOTS, AND SHALL BE LOCATED NO CLOSER TO THE PRIMARY STREET THAN THE CLOSEST FRONT FAÇADE OF THE PRINCIPAL BUILDING ON EITHER OF THE TWO ABUTTING LOTS. IF BOTH ABUTTING LOTS ARE VACANT, SETBACK IS BASED ON THE CLOSEST BUILDING.</p> <p>REAR YARD DEPTH (MINIMUM): THE GREATER OF 9 FT. OR 20 PERCENT OF THE LOT DEPTH.</p> <p>SIDE YARD WIDTH (MINIMUM): 5 FT.</p> <p>HEIGHT (MAXIMUM): 38 FT.</p> <p style="text-align: center;">LEGAL DESCRIPTION</p> <p>DEED RECORDED 4/5/2007. DOCUMENT ID #51665564</p> <p>BEGINNING AT A POINT ON THE SOUTH SIDE OF TITAN STREET (30 FEET WIDE) SAID POINT BEING AT A DISTANCE OF 135.000 FEET EASTWARD FROM THE EAST SIDE OF SIXTH STREET (50 FEET WIDE).</p> <p>CONTAINING IN FRONT OR BREADTH ALONG THE SOUTH SIDE OF TITAN ST. 16.667 FEET AND EXTENDING THAT LENGTH OR DEPTH SOUTHWARD BETWEEN PARALLEL LINES WHICH ARE PARALLEL TO SAID SIXTH STREET THE DISTANCE OF 39.100 FEET.</p> <p>ST. CODE/HOUSE NO.: 77460-00528</p> <p>CITY REGISTRY: 8S12-373</p>	<table border="0"> <tr> <td>ADD.</td> <td>ADDITION</td> </tr> <tr> <td>ALT.</td> <td>ALTERNATE</td> </tr> <tr> <td>ASPH.</td> <td>ASPHALT</td> </tr> <tr> <td>AVG</td> <td>AVERAGE</td> </tr> <tr> <td>B.M.</td> <td>BENCH MARK</td> </tr> <tr> <td>B/C</td> <td>BACK OF CURB</td> </tr> <tr> <td>C.A.P.</td> <td>CONCRETE ASBESTOS PIPE</td> </tr> <tr> <td>C.D.</td> <td>CONSTRUCTION DOCUMENTS</td> </tr> <tr> <td>CL</td> <td>CENTERLINE</td> </tr> <tr> <td>CONST.</td> <td>CONSTRUCTION</td> </tr> <tr> <td>CONT.</td> <td>CONTINUOUS</td> </tr> <tr> <td>CONTR.</td> <td>CONTRACTOR</td> </tr> <tr> <td>D.G.</td> <td>DECOMPOSED GRANITE</td> </tr> <tr> <td>DBL.</td> <td>DOUBLE</td> </tr> <tr> <td>DEMO</td> <td>DEMOLITION</td> </tr> <tr> <td>DIA.</td> <td>DIAMETER</td> </tr> <tr> <td>EA.</td> <td>EACH</td> </tr> <tr> <td>EQ.</td> <td>EQUAL</td> </tr> <tr> <td>EQUIP.</td> <td>EQUIPMENT</td> </tr> <tr> <td>EST.</td> <td>ESTIMATE</td> </tr> <tr> <td>EXC</td> <td>EXCAVATE</td> </tr> <tr> <td>EXIST.</td> <td>EXISTING</td> </tr> <tr> <td>FAB.</td> <td>FABRICATE</td> </tr> <tr> <td>FIN. 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SENIUK ADDRESS: 732 SANSOM ST. #3 PHILADELPHIA, PA 19106-3215</p> <p>TELE: 215-629-2812</p> <p>DESIGNER: PHOTODESIGN.NET</p> <p>ENGINEER/ARCH.: BAER WOLFE ARCHITECTS</p> <p>DRAFTING: S.R. HEYMAN</p> <p>INSURANCE CO.: FREDERICK MUTUAL CO.</p> <p>POLICY NO.: APP2080246</p>	ADD.	ADDITION	ALT.	ALTERNATE	ASPH.	ASPHALT	AVG	AVERAGE	B.M.	BENCH MARK	B/C	BACK OF CURB	C.A.P.	CONCRETE ASBESTOS PIPE	C.D.	CONSTRUCTION DOCUMENTS	CL	CENTERLINE	CONST.	CONSTRUCTION	CONT.	CONTINUOUS	CONTR.	CONTRACTOR	D.G.	DECOMPOSED GRANITE	DBL.	DOUBLE	DEMO	DEMOLITION	DIA.	DIAMETER	EA.	EACH	EQ.	EQUAL	EQUIP.	EQUIPMENT	EST.	ESTIMATE	EXC	EXCAVATE	EXIST.	EXISTING	FAB.	FABRICATE	FIN. FL	FINISH FLOOR	HOR.	HORIZONTAL	HYD.	HYDRAULIC	M.H.	MANHOLE	MAT'L	MATERIAL	MAX.	MAXIMUM	MFG.	MANUFACTURING	MFR.	MANUFACTURER	MIN.	MINIMUM	MISC.	MISCELLANEOUS	N.I.C.	NOT IN CONTRACT	N.T.S.	NOT TO SCALE	NFC	NOT FOR CONSTRUCTION	NOM.	NOMINAL	P.L.	PROPERTY LINE	PREFAB.	PREFABRICATED	QTY.	QUANTITY	R.O.W	RIGHT OF WAY	REF.	REFERENCE	REQ'D	REQUIRED	REV.	REVISION	RMV.	REMOVE	SH	SHEET	SIM.	SIMILAR	SPECS	SPECIFICATIONS	STD	STANDARD	SYS.	SYSTEM	T.O.C.	TOP OF CURB	THRU	THROUGH	TYP.	TYPICAL	V.I.F.	VERIFY IN FIELD	WT.	WEIGHT	W/	WITH	W/O	WITHOUT	YD.	YARD	<p style="text-align: center;">COMPLIANCE REFERENCES</p> <p>A. NATIONAL ELECTRIC CODE, ARTICLE 760.</p> <p>B. NATIONAL FIRE PROTECTION ASSOCIATION STANDARDS:</p> <ol style="list-style-type: none"> NFPA 70 - NATIONAL ELECTRICAL CODE. NFPA 72 - NATIONAL FIRE ALARM CODE. NFPA 101 - LIFE SAFETY CODE. <p>C. LOCAL AND STATE BUILDING CODES:</p> <ol style="list-style-type: none"> BOCA, NATIONAL BUILDING CODE, MECHANICAL CODE, FIRE PREVENTION CODE. <p>D. LOCAL AUTHORITIES HAVING FIRE PROTECTION JURISDICTION</p> <p>E. EQUIPMENT SHALL BE APPROVED BY THE UNDERWRITERS LABORATORIES, INC. FOR THE FOLLOWING STANDARDS AS APPLICABLE:</p> <ol style="list-style-type: none"> UL 864 9TH EDITIONS UOJZ - CONTROL UNITS FOR FIRE PROTECTIVE SIGNALING SYSTEMS. UL 268 - SMOKE DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS. UL 268A - SMOKE DETECTORS FOR DUCT APPLICATIONS. UL 217 - SMOKE DETECTORS FOR SINGLE STATION APPLICATION. UL 521 - HEAT DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS. UL 228 - DOOR HOLDERS FOR FIRE PROTECTIVE SIGNALING SYSTEMS. UL 464 - AUDIBLE SIGNALING APPLIANCES. UL 1638 - VISUAL SIGNALING APPLIANCES. UL 38 - MANUALLY ACTIVATED SIGNALING BOXES. UL 346 - WATER FLOW INDICATORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS. UL 1481 - POWER SUPPLIES FOR FIRE PROTECTIVE SIGNALING SYSTEMS.
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			<p>SECTION: 1 A-1.3</p> <p>SECTION: 1 A-1.3</p> <p>DETAIL: 1 A-1.3</p> <p>PARTITION: 1</p> <p>ELEVATION: 1 A-2.0</p> <p>ROOM NAME / NUMBER: BATH 104</p> <p>DOOR SCHED.: 104</p> <p>WINDOW SCHED.: 104</p> <p>BENCHMARK: 104</p>																																																																																																																				

PHOTODESIGN.NET
 732 SANSOM STREET
 PHILADELPHIA, PA
 19106
 215-629-0295

AGE QUOD AGIS

SENIUK RESIDENCE
528 TITAN STREET
PHILADELPHIA, PA 19147
OWNER / BUILDER

DATE: 10/15/2013

SCALE: N.T.S.

PROJECT: SENIUK RESIDENCE

DRAWN BY: SRH REVISION: 2.01

DRAWING TITLE: COMPLIANCE PLAN & GENERAL NOTES

DRAWING NUMBER: **A-0.1**

PROPERTY DESCRIPTION

DEED RECORDED 4/5/2007. DOCUMENT ID #51665564

BEGINNING AT A POINT ON THE SOUTH SIDE OF TITAN STREET (30 FEET WIDE) SAID POINT BEING AT A DISTANCE OF 135.000 FEET EASTWARD FROM THE EAST SIDE OF SIXTH STREET (50 FEET WIDE).

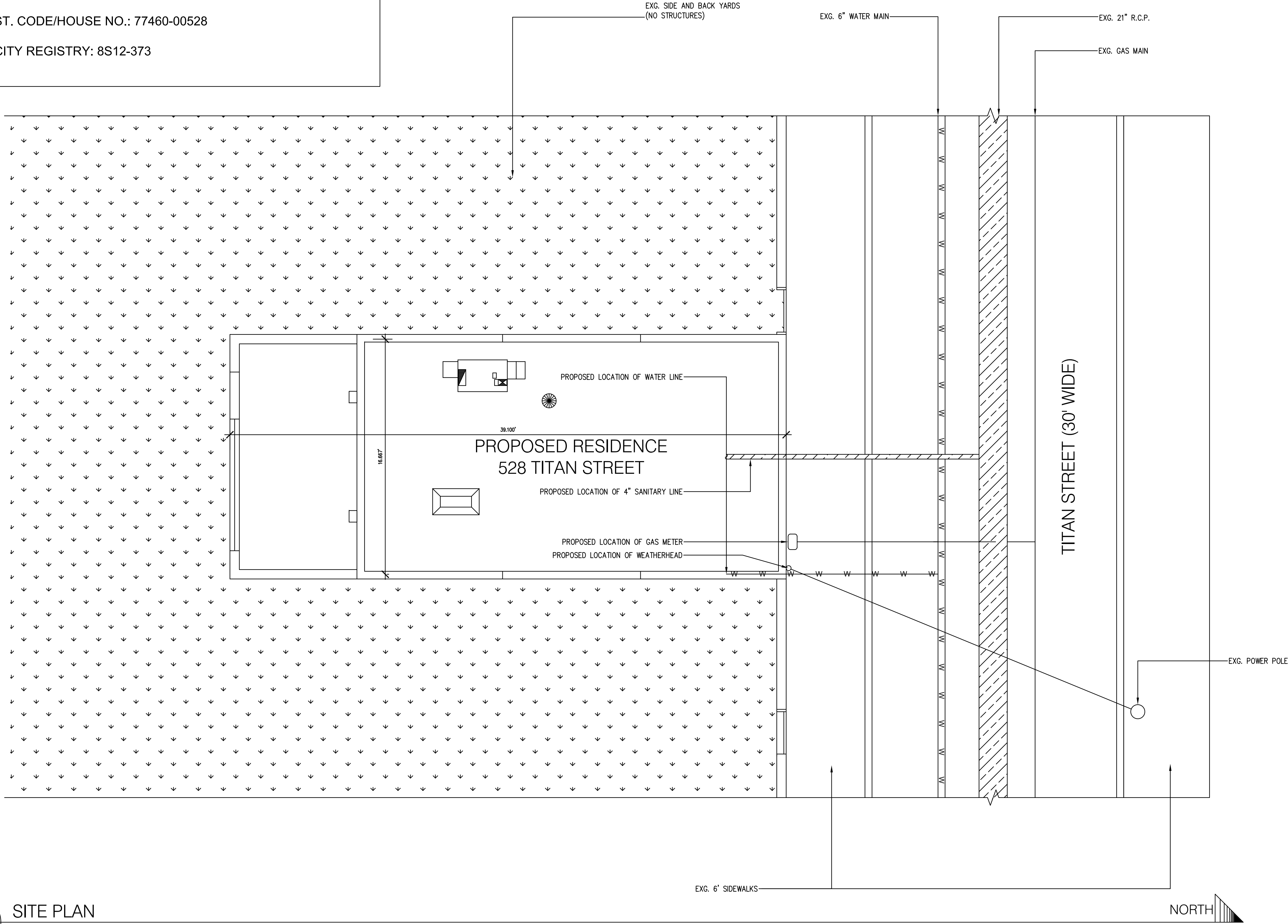
CONTAINING IN FRONT OR BREADTH ALONG THE SOUTH SIDE OF TITAN ST. 16.667 FEET AND EXTENDING THAT LENGTH OR DEPTH SOUTHWARD BETWEEN PARALLEL LINES WHICH ARE PARALLEL TO SAID SIXTH STREET THE DISTANCE OF 39.100 FEET.

ST. CODE/HOUSE NO.: 77460-00528

CITY REGISTRY: 8S12-373

SURVEY & DEED

SITUATED IN THE 2ND WARD OF THE CITY OF PHILADELPHIA AND DESCRIBED ACCORDING TO A PLAN OF PROPERTY MADE BY PAUL N. LONIE, SURVEYOR AND REGULATOR OF THE 2ND SURVEY DISTRICT DATED 11-2-1994. BEING THE SAME PREMISES WHICH ROBERT IOVINO AND ETHEL IOVINO BY DEED DATED 3-27-2007.



A SITE PLAN
0.2 SCALE: 1/4" = 1'-0"

PHOTODESIGN.NET
732 SANSOM STREET
PHILADELPHIA, PA
19106
215-629-0295

AGE QUOD AGIS

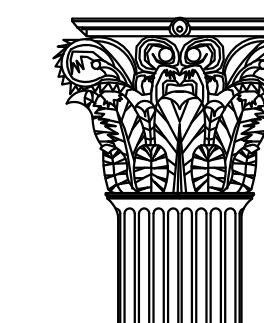
SENIUK RESIDENCE
528 TITAN STREET
PHILADELPHIA, PA 19147
OWNER / BUILDER

DATE: 10/15/2013	
SCALE: 1/4" = 1'-0"	
PROJECT: SENIUK RESIDENCE	
DRAWN BY: SRH	REVISION: 2.01

DRAWING TITLE:
SITE PLAN

DRAWING NUMBER:
A-0.2

PHOTODESIGN.NET
732 SANSOM STREET
PHILADELPHIA, PA
19106
215-629-0295



AGE QUOD AGIS

SENIUK RESIDENCE
528 TITAN STREET
PHILADELPHIA, PA 19147
OWNER / BUILDER

DATE: 10/15/2013

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PROJECT: SENIUK RESIDENCE

DRAWN BY: SRH REVISION: 2.01

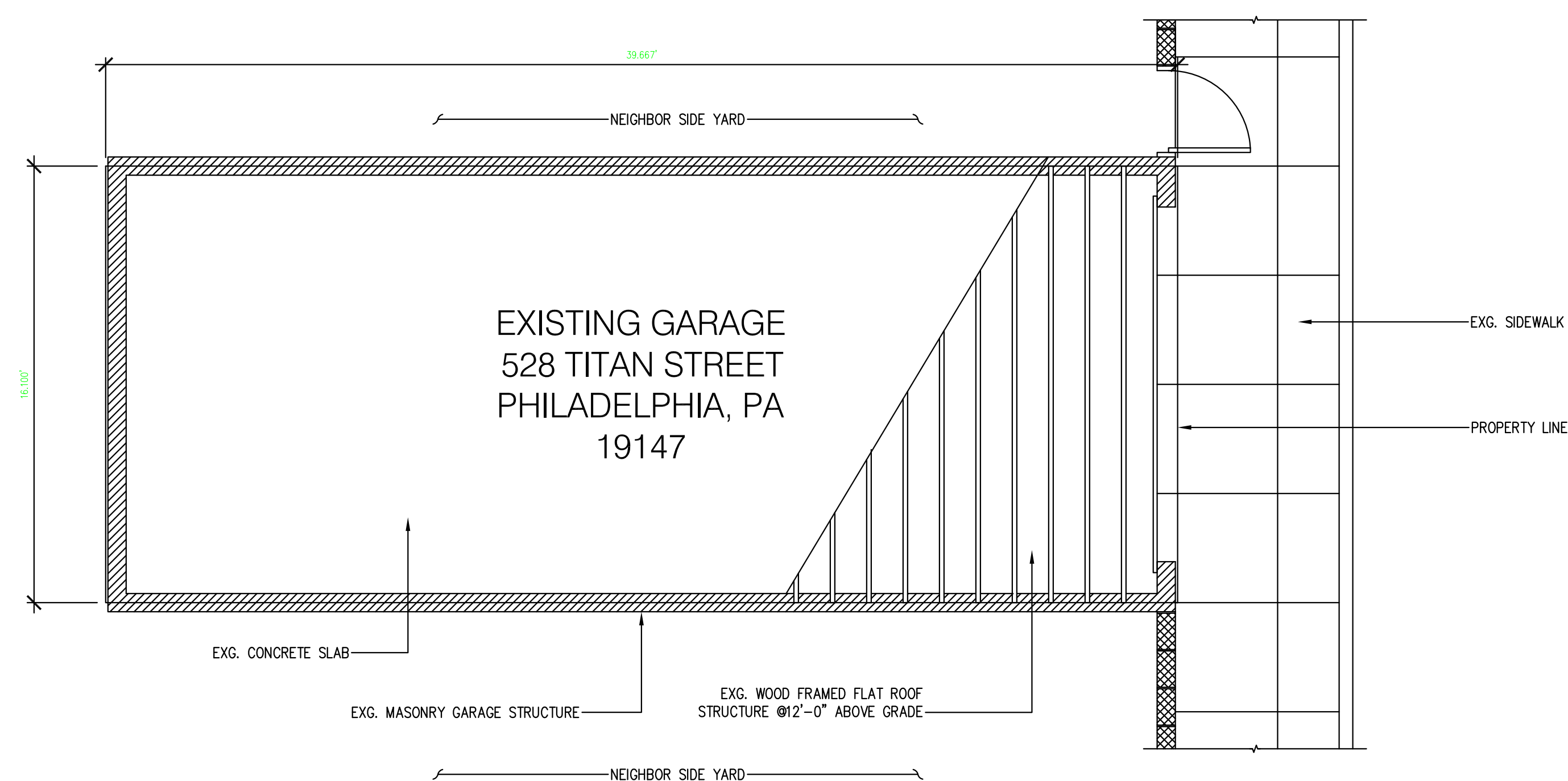
DRAWING TITLE: DEMOLITION PLAN

DRAWING NUMBER:

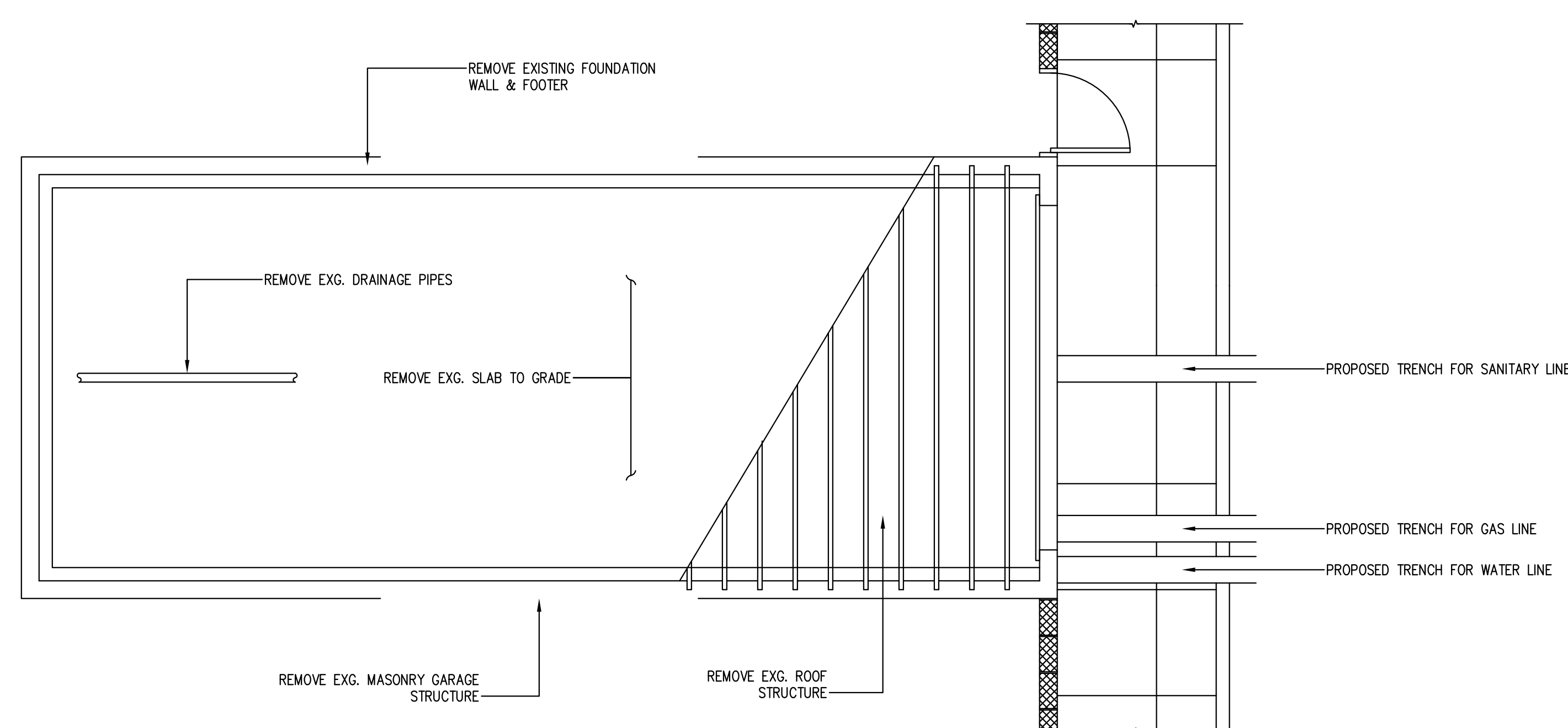
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DEMOLITION NOTES

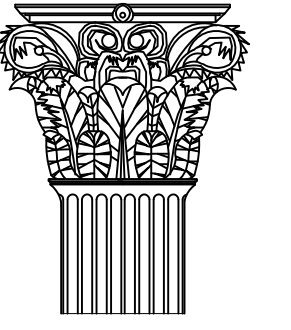
- 1.) DASHED LINES ON DEMO PLANS REPRESENT WALLS, DOORS, ETC TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN.
- 2.) THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS.
- 3.) THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.
- 4.) FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBED BY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSEING OF MASONRY, AND OTHER CHARACTERISTICS.
- 5.) ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER. A FIRE WATCH SHALL BE PROVIDED IF ANY HAZARDOUS SITUATIONS ARE THOUGHT TO BE POSSIBLE. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR POLLUTION CONTROL. THOROUGHLY CLEAN ADJACENT AREAS OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION WORK.
- 6.) PROVIDE TEMPORARY PARTITIONS/DUST PROTECTION (RATED AND/OR NON-RATED) AS REQUIRED. REVIEW LOCATIONS OF TEMPORARY PARTITIONS/DUST PROTECTION WITH OWNER AND ARCHITECT PRIOR TO START OF WORK.
- 7.) HAZARDOUS MATERIAL NOTE: CONTRACTOR SHALL STOP WORK AND INFORM OWNER IMMEDIATELY IN WRITING OF ANY HAZARDOUS MATERIAL ENCOUNTERED OR THOUGHT TO BE HAZARDOUS MATERIAL. THE OWNER, AFTER RECEIVING WRITTEN NOTICE SHALL INSTRUCT CONTRACTOR ON HOW TO PROCEED.
- 8.) ALL WORK SHALL BE DONE IN PROTECTED SPACE. NO DUST OR DIRT SHALL TRAVEL FROM CONSTRUCTION AREA TO ADJACENT AREAS. TEMPORARY DUST PROTECTION SHALL BE ERECTED PRIOR TO START OF WORK.
- 9.) PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ADJACENT STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE. REPAIR SPRAY FIREPROOFING DAMAGED DURING DEMOLITION WORK TO ITS REQUIRED ASSEMBLY AND FIRE RATING AS SCHEDULED ON ARCHITECTURAL DRAWINGS.
- 10.) CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED PRIOR TO START OF DEMOLITION.
- 11.) ANY FLOOR OPENINGS SHALL BE COVERED DURING DEMOLITION AND CONSTRUCTION



A
0.2 EXISTING PLAN
SCALE: 1/4" = 1'-0"



A
0.2 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



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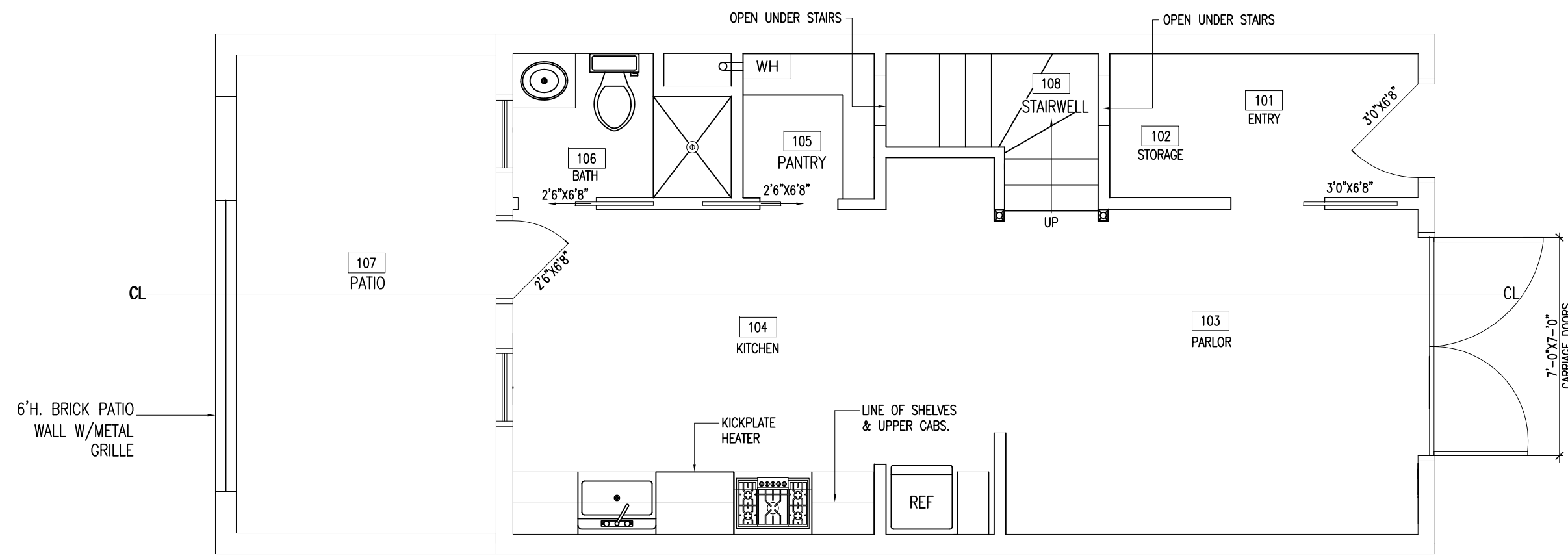
PROJECT: SENIUK RESIDENCE

DRAWN BY: SRH
REVISION: 2.02

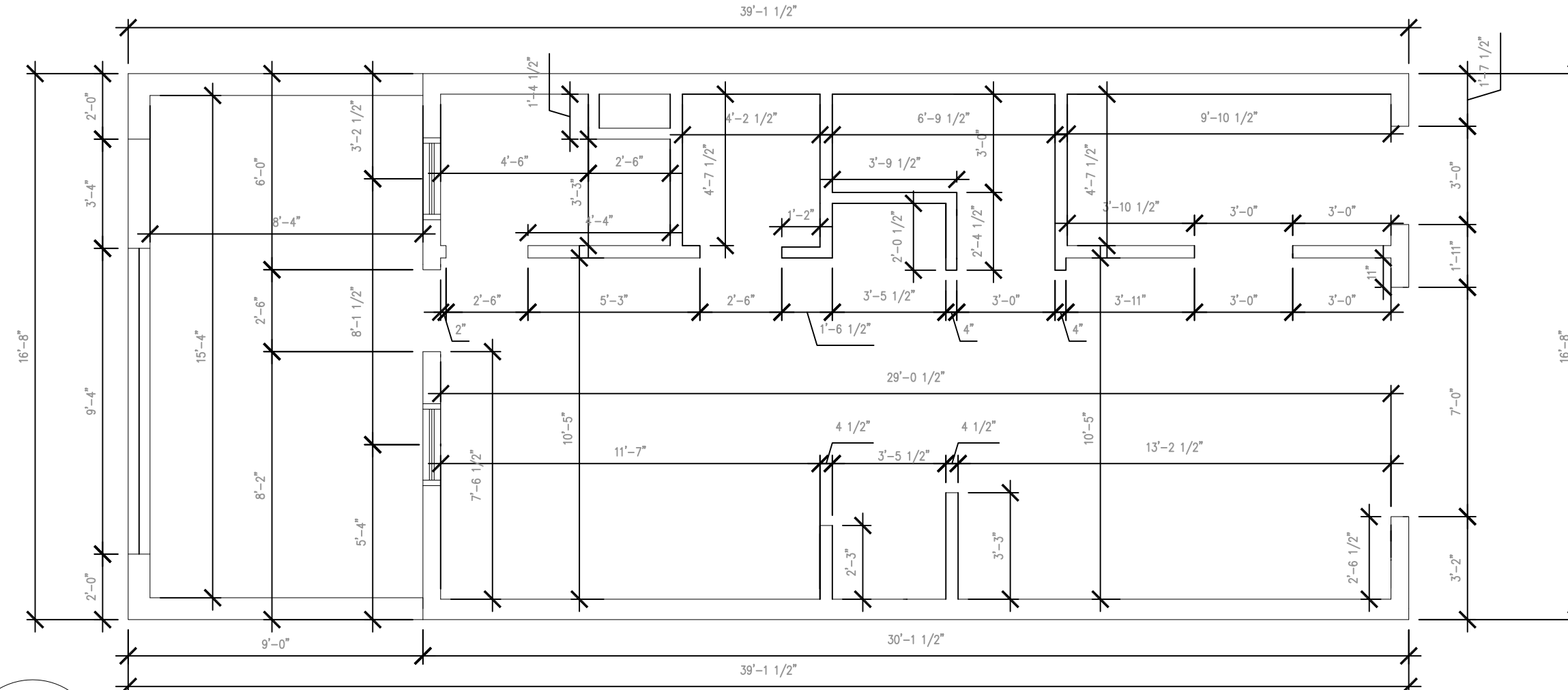
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DRAWING NUMBER:

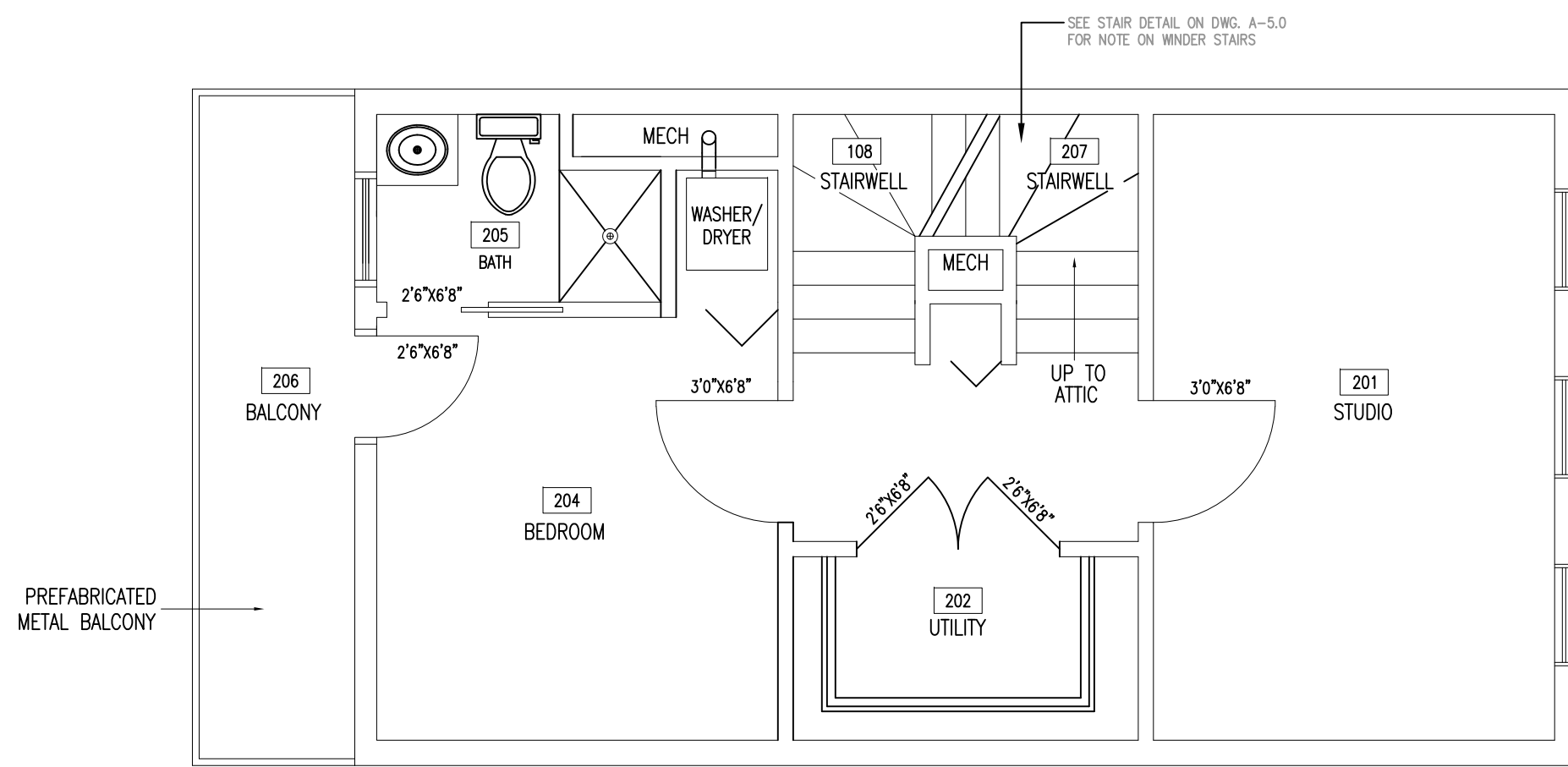
A-1.0



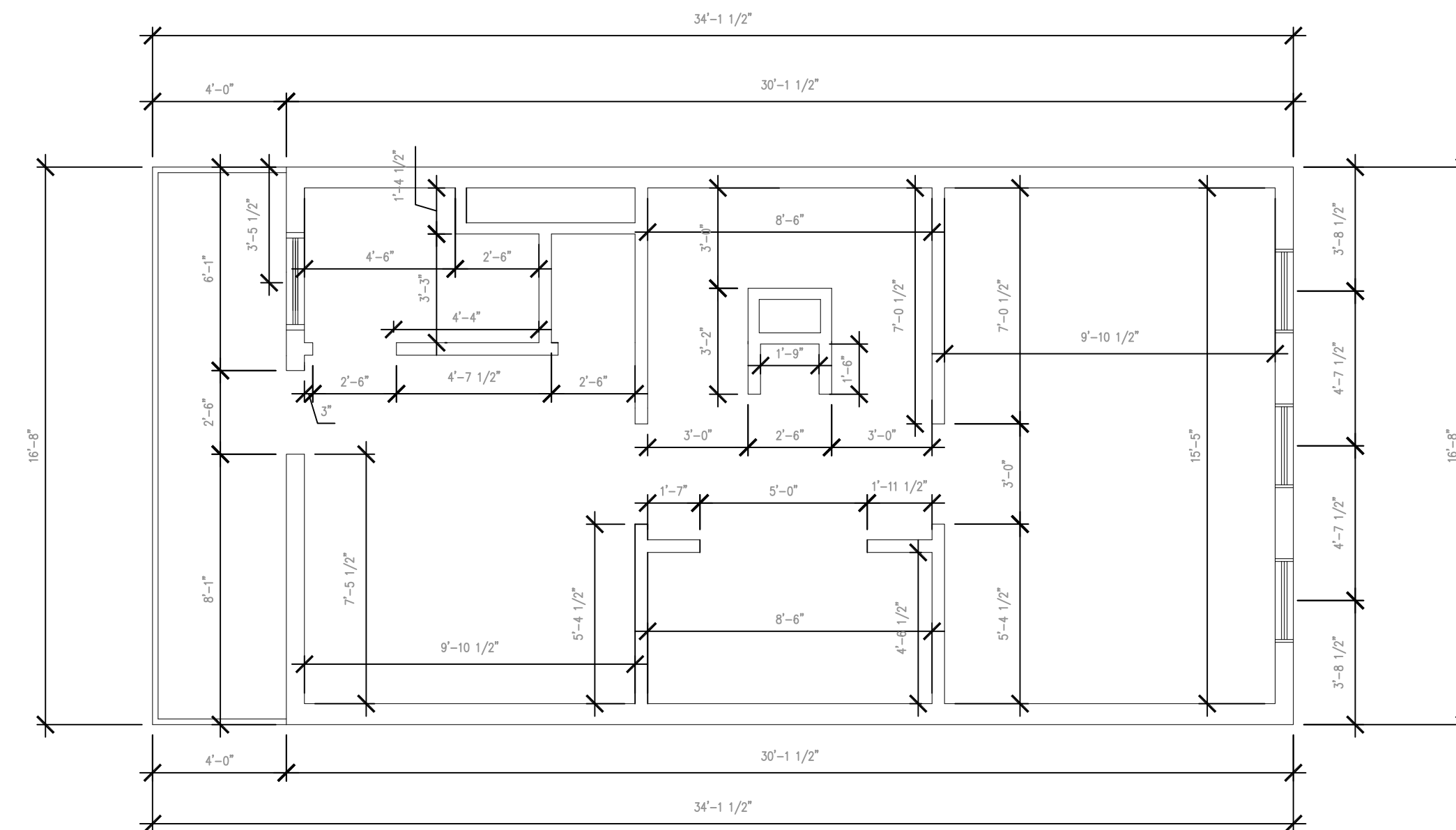
1 FIRST FLOOR PLAN
A-1.0 SCALE: 1/4" = 1'-0"



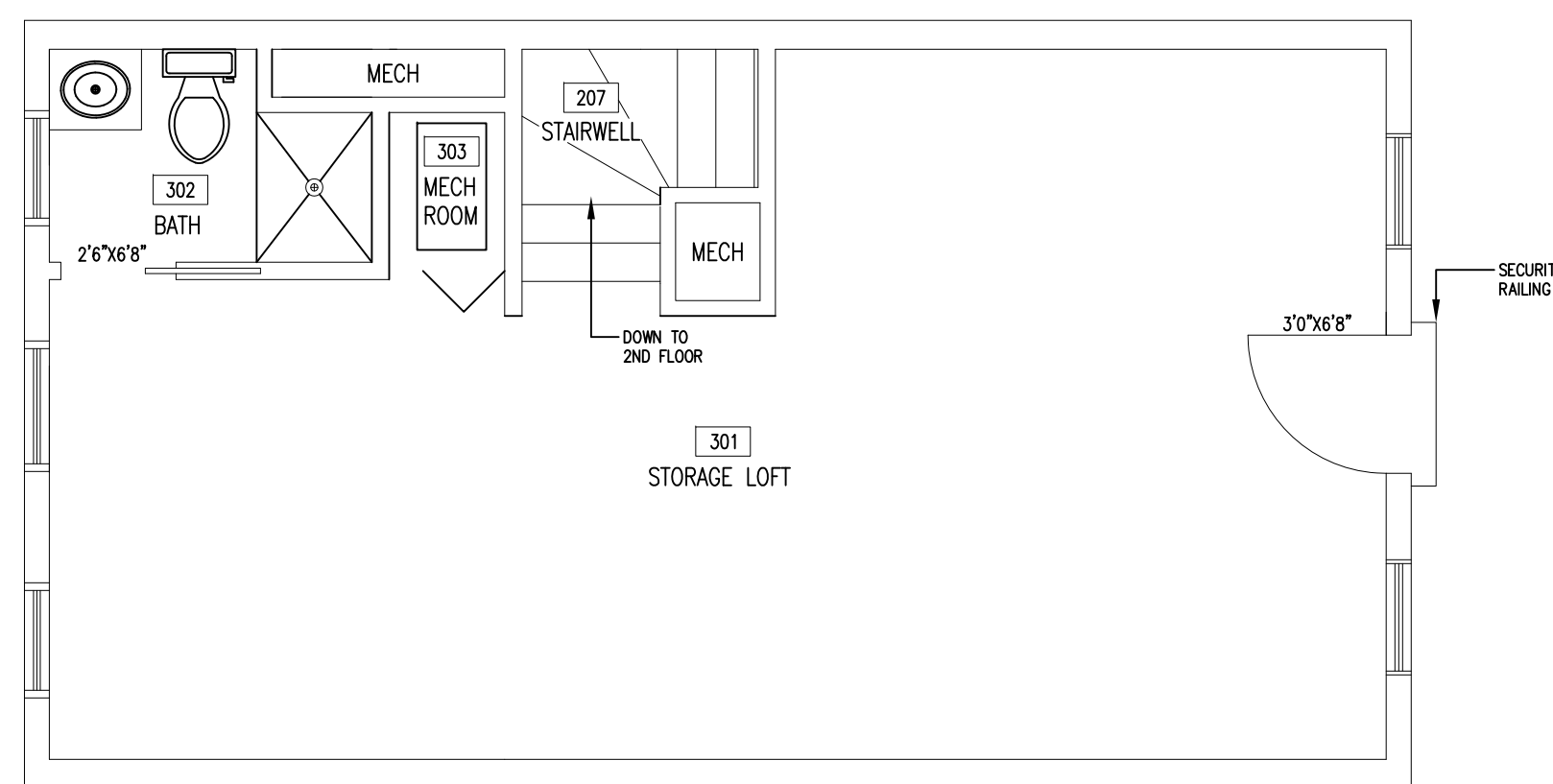
4 FIRST FLOOR DIMENSIONS
A-1.0 SCALE: 1/4" = 1'-0"



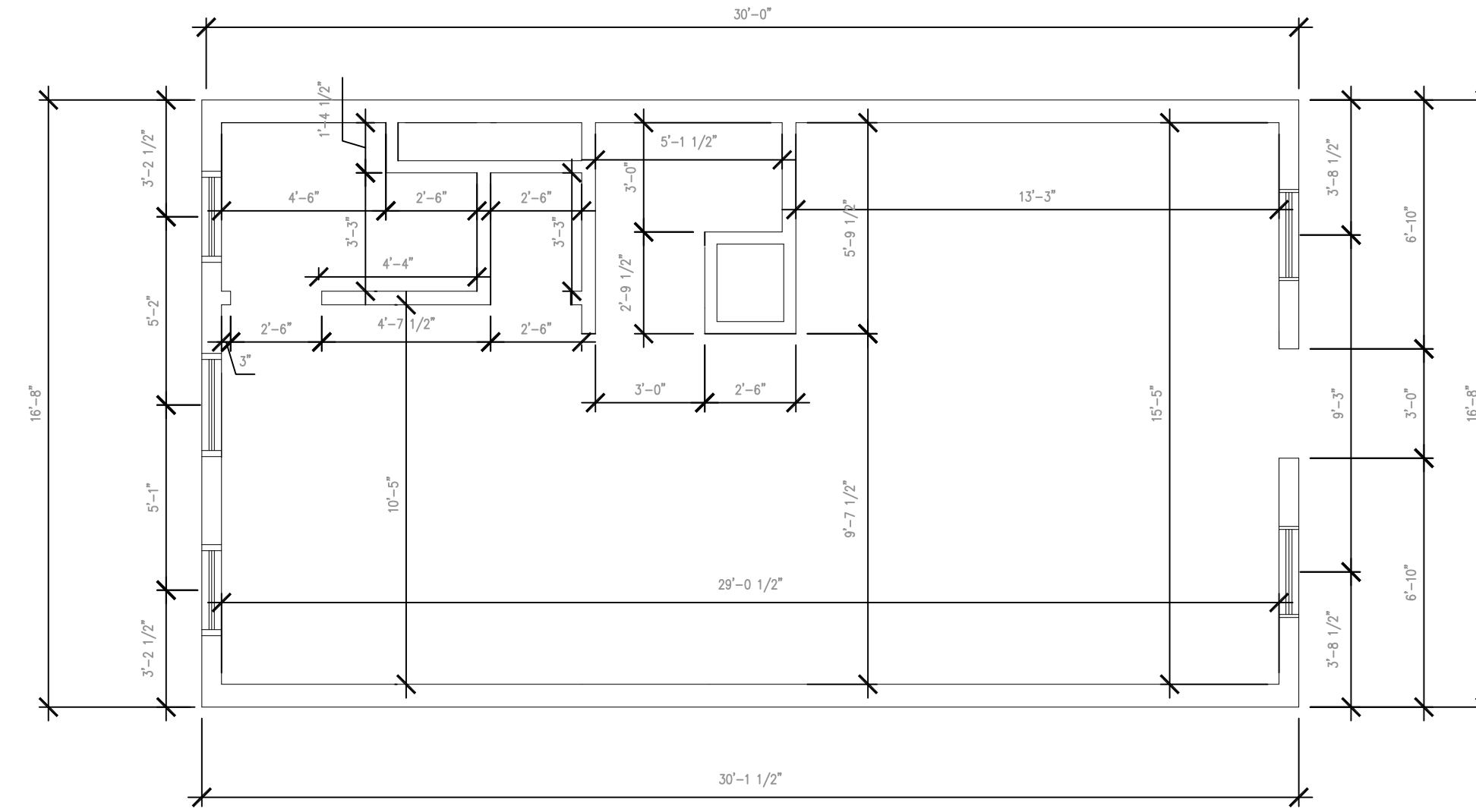
2 2ND FLOOR PLAN
A-1.0 SCALE: 1/4" = 1'-0"



5 2ND FLOOR DIMENSIONS
A-1.0 SCALE: 1/4" = 1'-0"



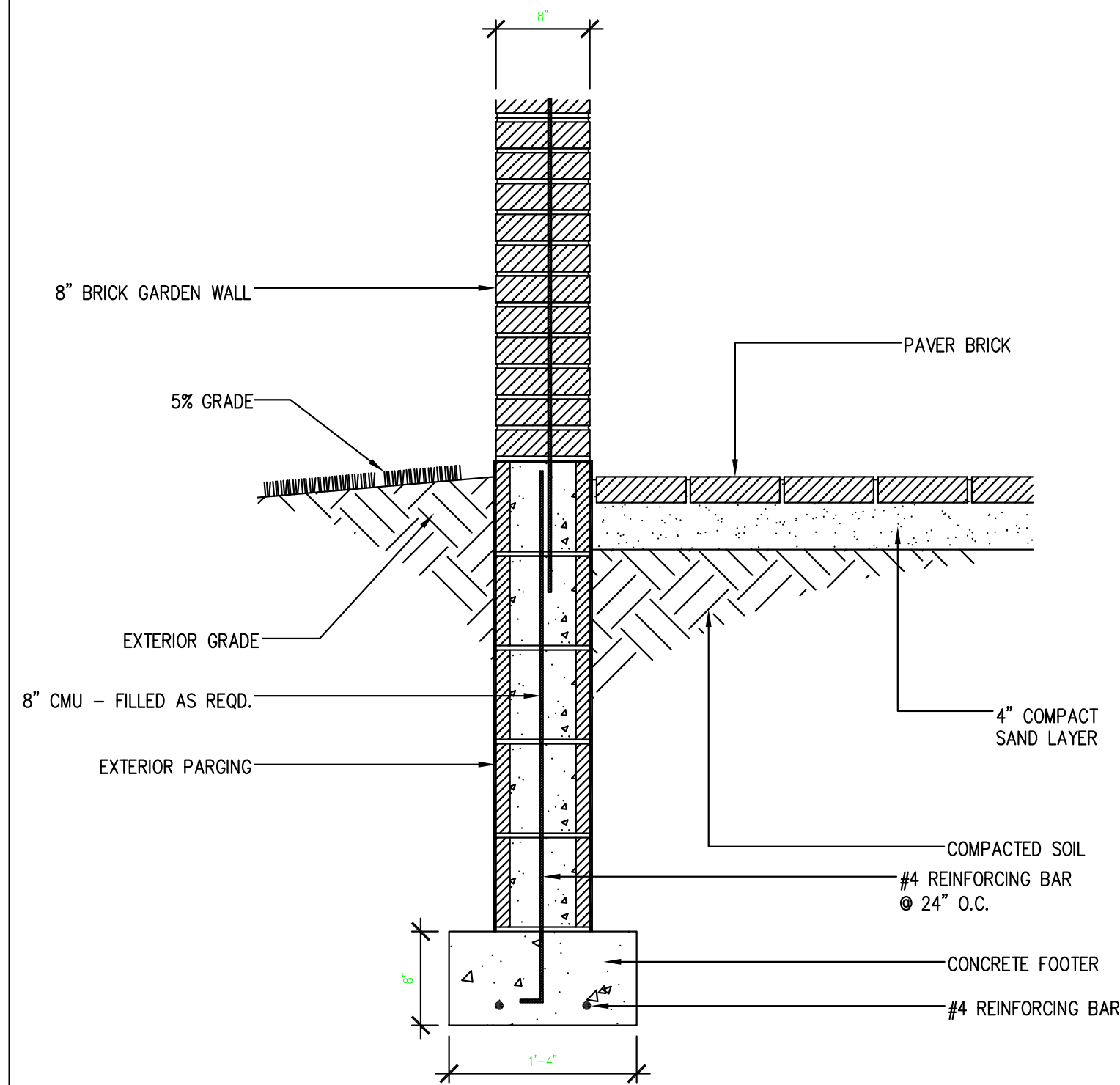
3 ATTIC PLAN
A-1.0 SCALE: 1/4" = 1'-0"



6 ATTIC DIMENSIONS
A-1.0 SCALE: 1/4" = 1'-0"

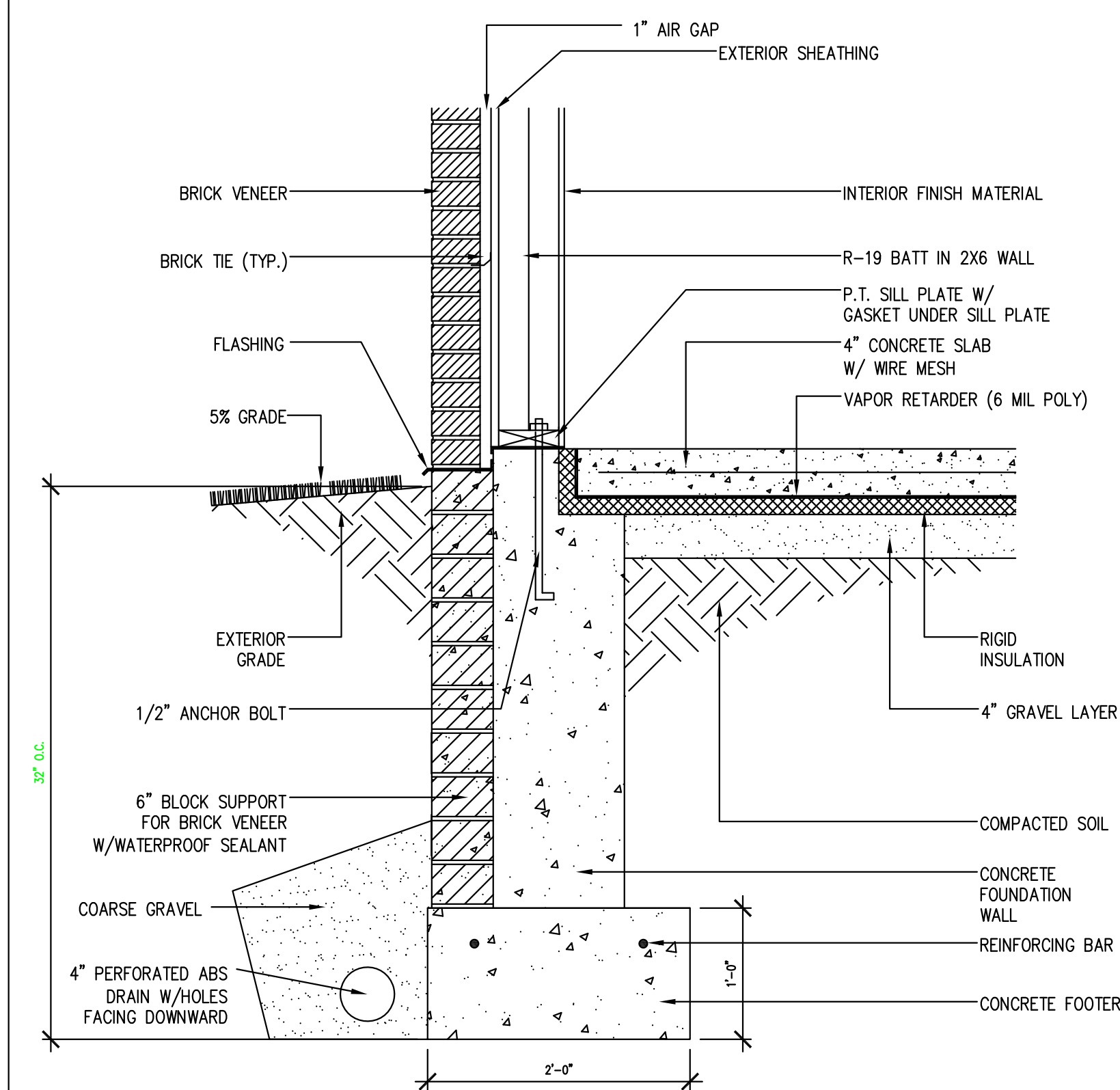


FOUNDATION DETAIL - 1



1
A-1.1
GARDEN WALL FOOTER
SCALE: 1" = 1'-0"

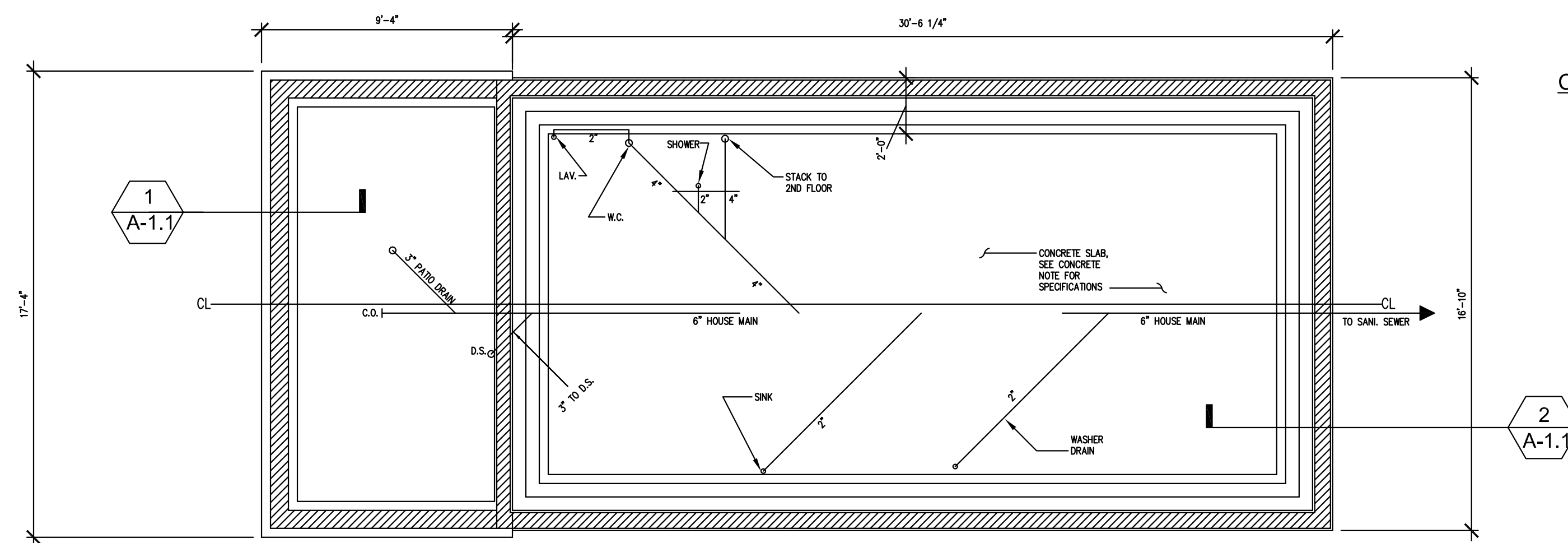
FOUNDATION DETAIL - 2



2
A-1.1
SLAB ON GRADE W/ BRICK VENEER
SCALE: 1" = 1'-0"

FOUNDATION NOTES

1. SILL PLATE: THE SILL PLATE SHOULD BE AT LEAST 8 INCHES ABOVE GRADE AND PRESSURE-PRESERVATIVE TREATED TO RESIST DECAY.
2. INSULATION PROTECTION: EXTERIOR INSULATION MATERIALS SHOULD NOT BE EXPOSED ABOVE GRADE. THE ABOVE-GRADE MATERIAL SHOULD BE COVERED BY A PROTECTIVE MATERIAL I.E. EXTERIOR GRADE PLASTIC, FIBERGLASS, NON-CORROSIVE FLASHING, OR A CEMENTITIOUS COATING - EXTENDING AT LEAST 6 INCHES BELOW GRADE.
3. SURFACE DRAINAGE: THE GROUND SHOULD SLOPE DOWNWARD AT THE LEAST 5 PERCENT (6 INCHES) OVER THE FIRST 10 FEET SURROUNDING THE FOUNDATION EDGE TO DIRECT SURFACE RUNOFF AWAY FROM THE BUILDING. DOWNSPOUTS AND GUTTERS SHOULD BE USED TO COLLECT ROOF DRAINAGE AND DIRECT IT AWAY FROM THE FOUNDATION WALLS.
4. ANCHOR BOLTS FOR CONCRETE OR CMU WALLS: ANCHOR BOLTS SHOULD BE EMBEDDED IN THE TOP OF CONCRETE FOUNDATION WALLS. MOST CODES REQUIRE BOLTS OF 1/2-INCH DIAMETER TO BE EMBEDDED AT LEAST 7 INCHES INTO THE WALL. GENERALLY, ANCHOR BOLTS WILL BE PLACED AT 32" O.C. AND NO FURTHER THAN 1 FOOT FROM ANY CORNER.
5. ANCHOR BOLTS FOR MASONRY WALLS: ANCHOR BOLTS SHOULD BE EMBEDDED IN THE TOP OF MASONRY FOUNDATION WALLS. MOST CODES REQUIRE BOLTS OF 1/2-INCH MINIMUM DIAMETER EMBEDDED AT LEAST 7 INCHES INTO THE WALL. IN SOME LOCATIONS, CODES REQUIRE BOLTS TO BE EMBEDDED 15 INCHES IN THE MASONRY WALLS TO RESIST UPLIFT. TO PROVIDE ADEQUATE ANCHORAGE IN A MASONRY WALL, BOLTS EITHER MUST BE EMBEDDED IN A BOND BEAM OR THE APPROPRIATE CORES OF THE UPPER COURSE OF BLOCK MUST BE FILLED WITH MORTAR. ANCHOR BOLTS CAN BE PLACED AT A MAXIMUM SPACING OF 6 FEET AND NO FURTHER THAN 1 FOOT FROM ANY CORNER.
6. EXTERIOR INSULATION MATERIALS: ACCEPTABLE MATERIALS FOR EXTERIOR FOUNDATION INSULATION ARE: (1) EXTRUDED POLYSTYRENE BOARDS (XEPS) UNDER ANY CONDITION, (2) MOLDED EXPANDED POLYSTYRENE BOARDS (MEPS) FOR VERTICAL APPLICATIONS WHEN POROUS BACKFILL AND ADEQUATE DRAINAGE ARE PROVIDED, AND (3) FIBERGLASS OR POLYSTYRENE DRAINAGE BOARDS WHEN INSTALLED WITH AN APPROPRIATE DRAINAGE SYSTEM.
7. CAST-IN-PLACE CONCRETE WALL: CONCRETE USED IN THE WALL SHOULD HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI WITH A 4- TO 6-INCH SLUMP. NO ADDITIONAL WATER SHOULD BE ADDED AT THE JOB SITE. GENERALLY, WHERE THERE ARE STABLE SOILS AND LOW SEISMIC ACTIVITY, NO REINFORCING IS REQUIRED.
8. CONCRETE/MASONRY WALL: GENERALLY, WHERE THERE ARE STABLE SOILS AND IN AREAS OF LOW SEISMIC ACTIVITY, NO REINFORCING IS REQUIRED.
8. CRACK CONTROL REINFORCING IN FOOTING: REINFORCING BARS PLACED 2 INCHES BELOW THE TOP OF THE FOOTING OR 2 INCHES ABOVE THE BOTTOM OF THE GRADE BEAM, RUNNING PARALLEL TO THE WALL, ARE RECOMMENDED WHERE DIFFERENTIAL SETTLEMENT IS A POTENTIAL PROBLEM.
9. CONCRETE FOOTINGS : CONCRETE FOOTINGS SHOULD BE DESIGNED TO DISTRIBUTE THE LOAD TO THE SOIL AND BE PLACED BENEATH THE MAXIMUM FROST PENETRATION DEPTH UNLESS FOUNDED ON BEDROCK OR PROVEN NON-FROST-SUSCEPTIBLE SOIL, OR INSULATED TO PREVENT FROST PENETRATION. CONCRETE SHOULD HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI.
10. ISOLATION JOINT: AN ISOLATION JOINT SHOULD BE PROVIDED AT THE SLAB EDGE TO PERMIT INDEPENDENT MOVEMENT WITHOUT CRACKING. WHERE RADON IS A CONCERN, A LIQUID SEALANT SHOULD BE POURED INTO THE JOINT OVER A FOAM BACKING ROD.
11. CONCRETE SLAB: A MINIMUM SLAB THICKNESS OF 4 INCHES IS RECOMMENDED USING CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI. WELDED WIRE FABRIC PLACED 2 INCHES BELOW THE SLAB SURFACE IS RECOMMENDED TO CONTROL SHRINKAGE CRACKS. GENERALLY, CONCRETE SLABS SHOULD NOT REST ON FOOTINGS OR LEDGES OF FOUNDATION WALLS IF POSSIBLE TO AVOID CRACKING DUE TO SETTLEMENT. IF A SLAB IS POURED DIRECTLY OVER AN IMPERMEABLE VAPOR RETARDER OR INSULATION BOARD, A CONCRETE MIXTURE WITH A LOW WATER/ CEMENT RATIO IS RECOMMENDED. AN ALTERNATIVE TECHNIQUE IS TO POUR THE SLAB ON A LAYER OF SAND OR DRAINAGE BOARD MATERIAL ABOVE THE VAPOR RETARDER TO MINIMIZE CRACKING.
12. VAPOR RETARDER: A 6-MILLIMETER POLYETHYLENE VAPOR RETARDER SHOULD BE PLACED BENEATH THE SLAB TO REDUCE MOISTURE TRANSMISSION AND RADON INFILTRATION INTO THE BUILDING.
13. GRAVEL LAYER UNDER SLAB: A 4-INCH COMPACTED GRAVEL LAYER SHOULD BE PLACED UNDER THE CONCRETE FLOOR SLAB FOR DRAINAGE.
14. INSULATION UNDER THE SLAB: ACCEPTABLE MATERIALS FOR UNDERSLAB INSULATION ARE: (1) EXTRUDED POLYSTYRENE BOARDS (XEPS) UNDER ANY CONDITION, (2) MOLDED EXPANDED POLYSTYRENE BOARDS (MEPS) WHEN THE COMPRESSIVE STRENGTH IS SUFFICIENT AND ADEQUATE DRAINAGE IS PROVIDED, AND (3) INSULATING DRAINAGE BOARDS WITH SUFFICIENT COMPRESSIVE STRENGTH.
15. INTERIOR RIGID INSULATION MATERIALS: ACCEPTABLE MATERIALS FOR PLACEMENT INSIDE A FOUNDATION WALL INCLUDE (1) EXTRUDED POLYSTYRENE BOARDS (XEPS) AND (2) EXPANDED POLYSTYRENE BOARDS (MEPS).



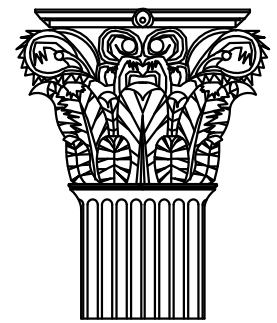
A
A.1
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

CONCRETE SLAB NOTE:
4" CONCRETE SLAB WITH FIBERMESH OR 6X6-WL4X14 WWF OVER 6 MIL. VAPOR BARRIER, 2" RIGID INSULATION AND 4" GRAVEL BED RESTING ON CLEAN COMPACTED AND TERMITE TREATED SOIL OR FILL (BEARING CAPACITY OF SOIL ASSUMED 2,000 PSI)

2
A-1.1



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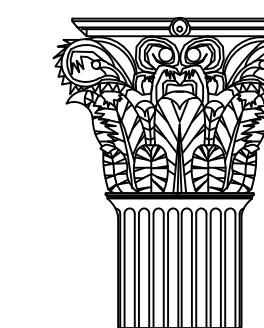
SENIUK RESIDENCE
 528 TITAN STREET
 PHILADELPHIA, PA 19147
 OWNER / BUILDER

DATE:	10/15/2013
SCALE:	AS INDICATED
PROJECT:	SENIUK RESIDENCE
DRAWN BY:	SRH
REVISION:	2.01

DRAWING TITLE:
FOUNDATION PLAN & DETAILS

DRAWING NUMBER:

A-1.1



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SCALE: 1/4" = 1'-0"

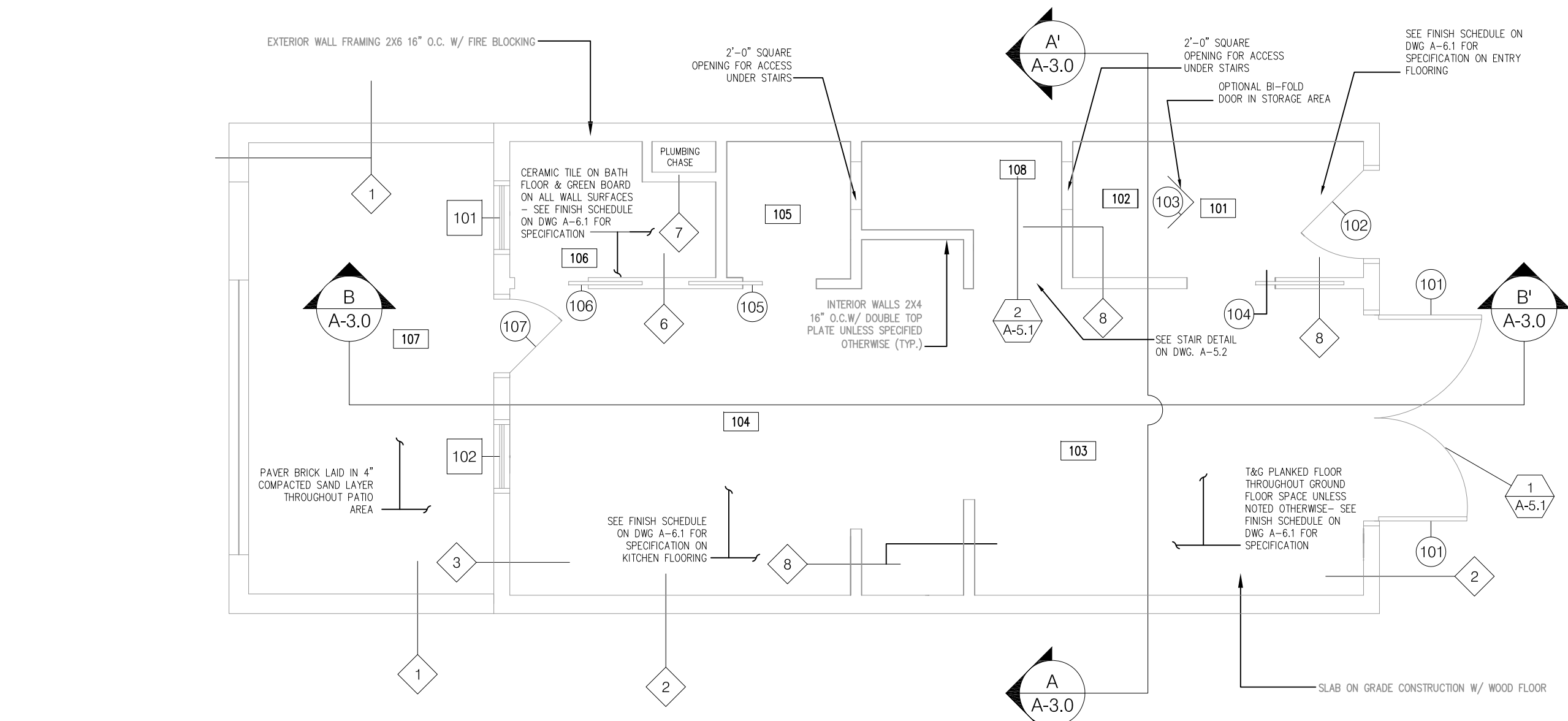
PROJECT: SENIUK RESIDENCE

DRAWN BY: SRH REVISION: 2.01

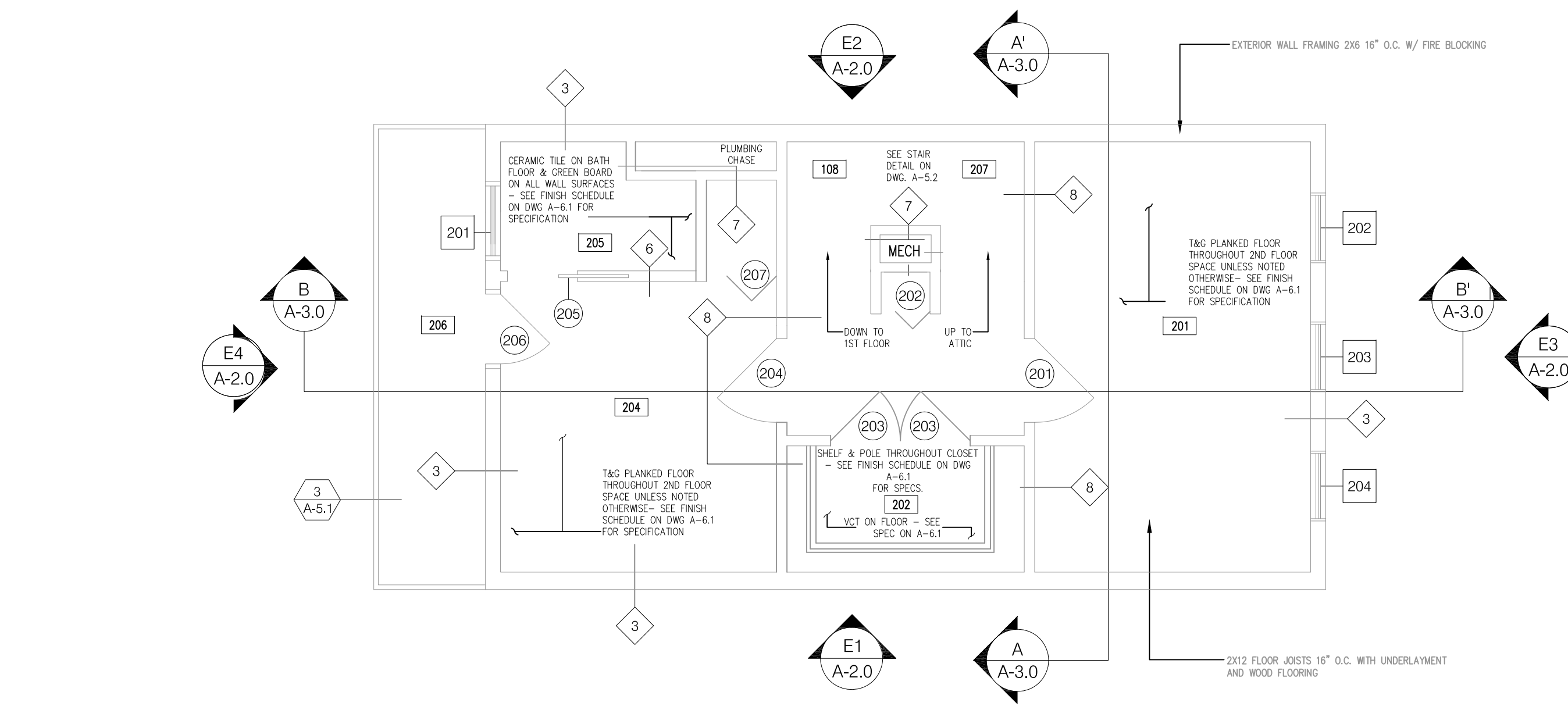
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DRAWING NUMBER:

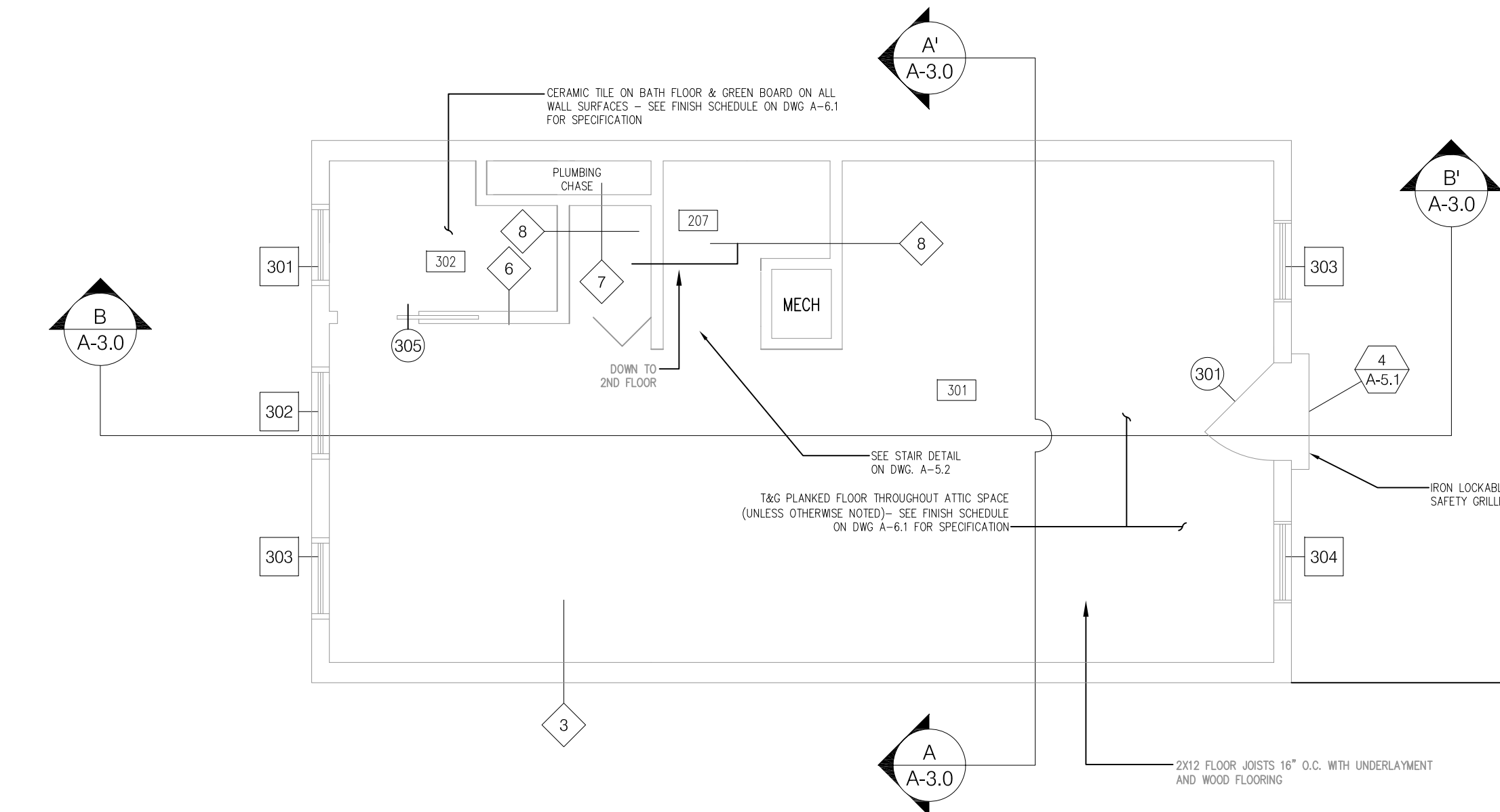
A-1.2



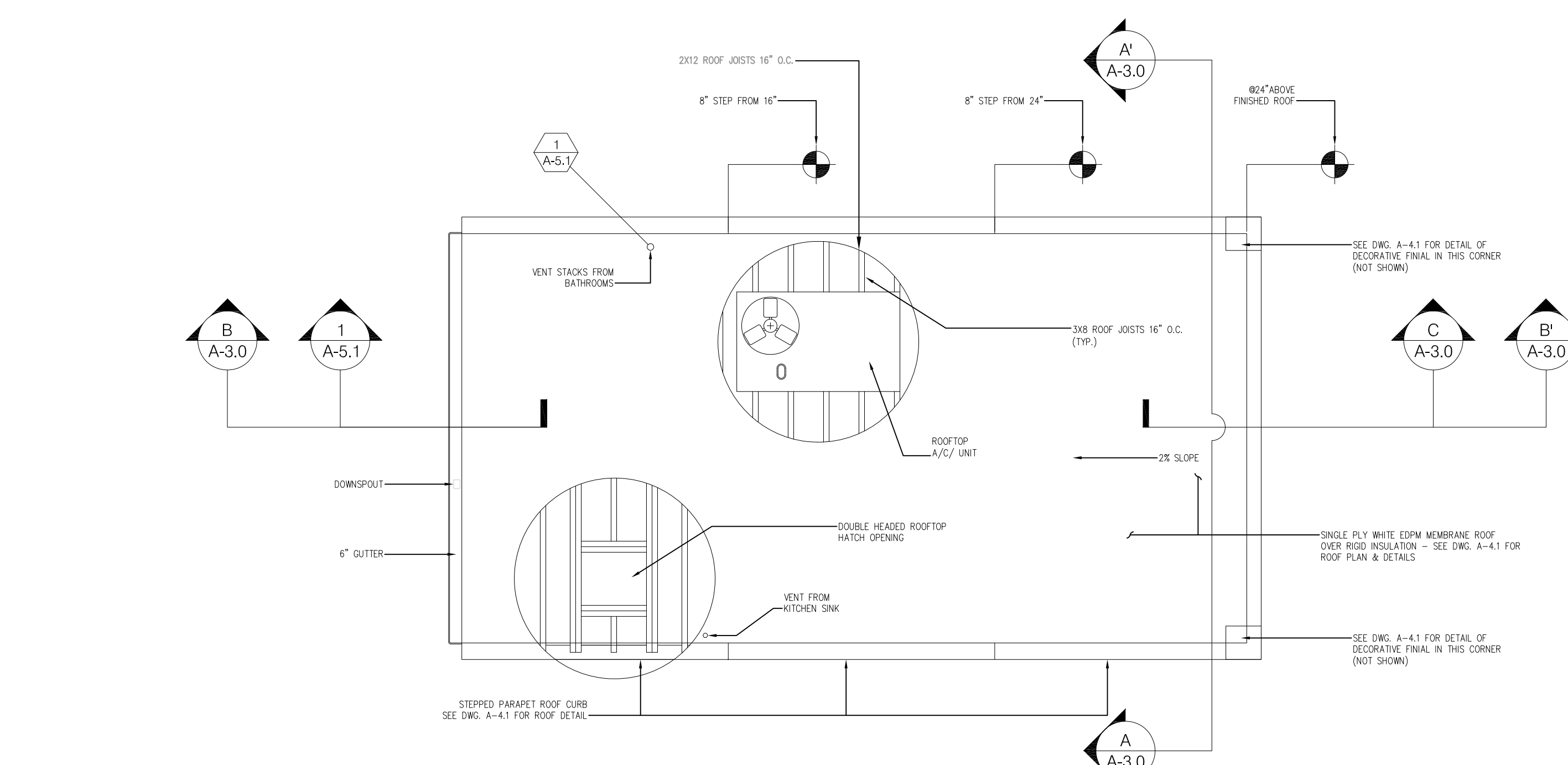
1 FIRST CONSTRUCTION FLOOR PLAN
A-1.2 SCALE: 1/4" = 1'-0" NORTH



2 2ND CONSTRUCTION FLOOR PLAN
A-1.2 SCALE: 1/4" = 1'-0" NORTH



3 ATTIC CONSTRUCTION PLAN
A-1.2 SCALE: 1/4" = 1'-0" NORTH

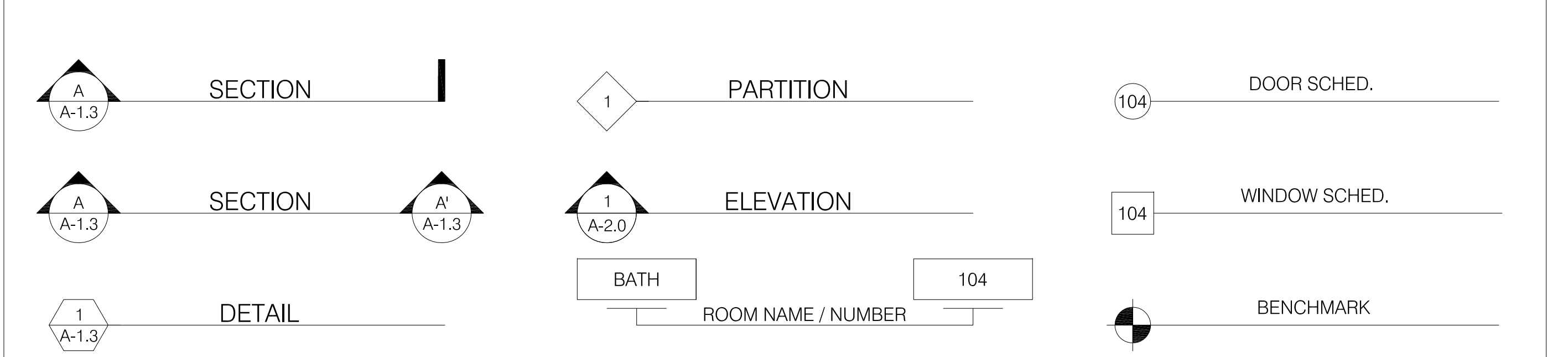


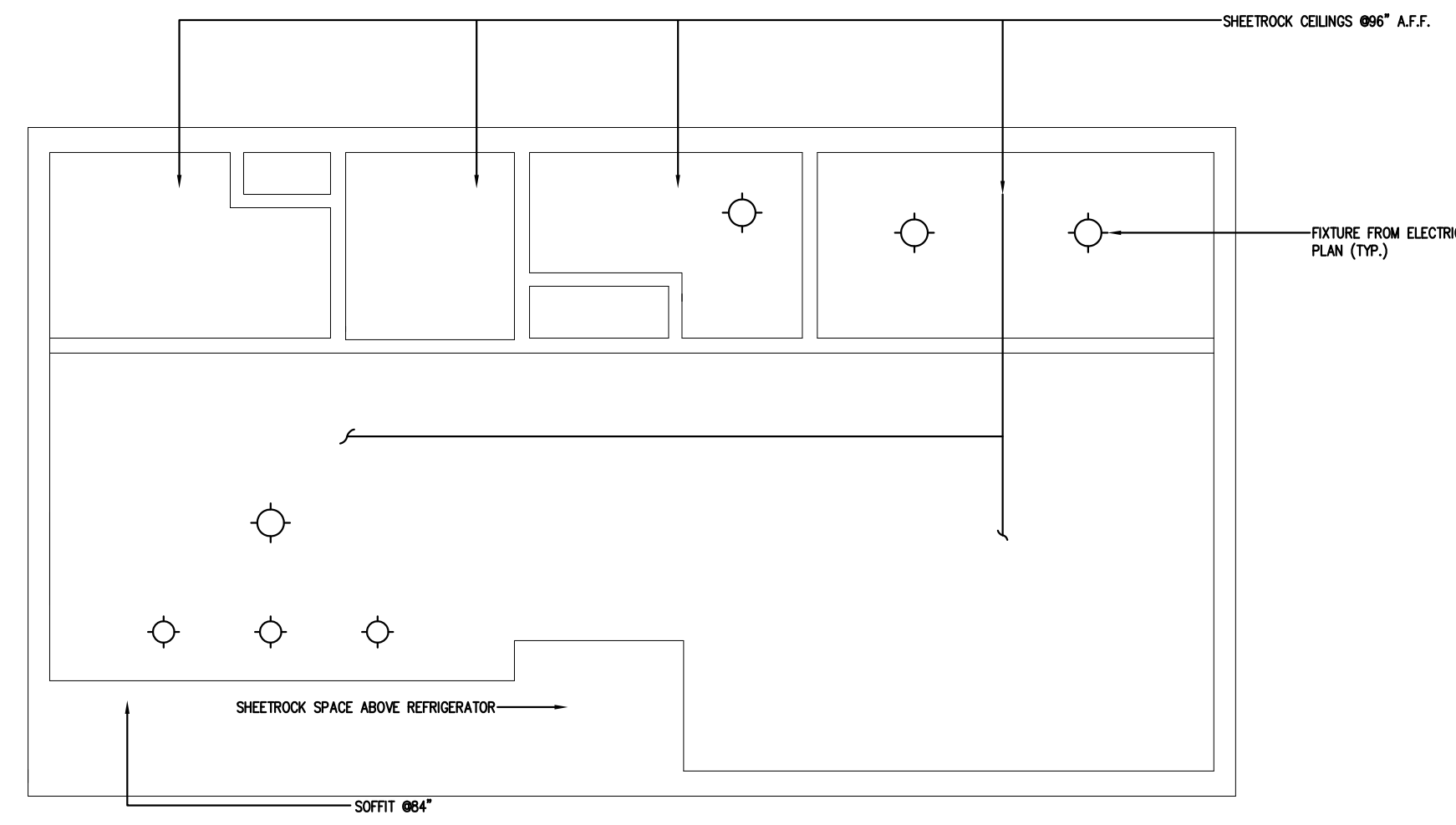
4 ROOF CONSTRUCTION PLAN
A-1.2 SCALE: 1/4" = 1'-0" NORTH

CONSTRUCTION NOTES:

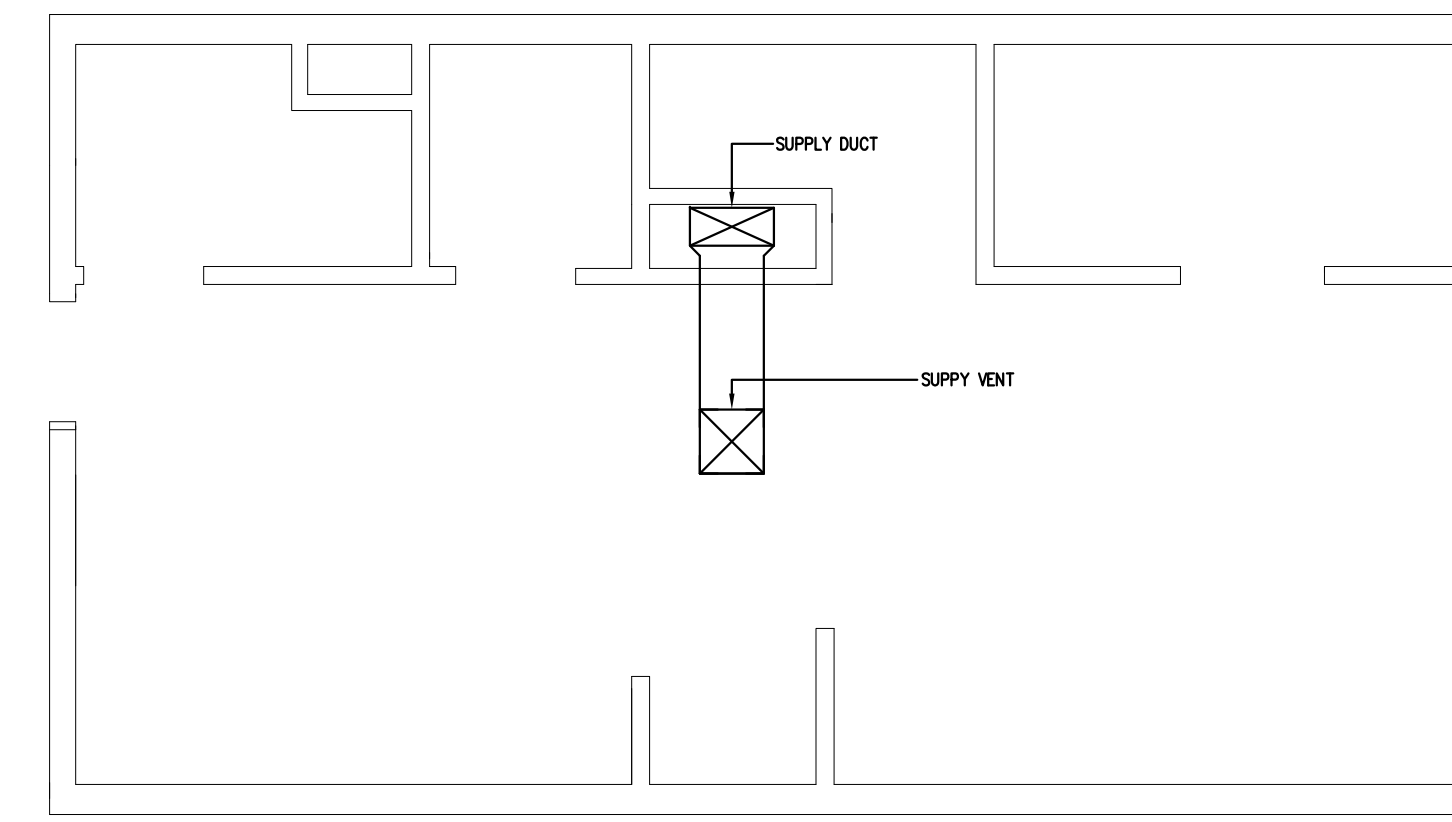
- PRIMARY CONSTRUCTION TYPE IS PLATFORM FRAMED MULTI-STORY SLAB ON GRADE METHOD. RESIDENCE IS CONSTRUCTED ON A "ZERO-LOT-LINE BASIS IN ORDER TO ALLOW FUTURE DEVELOPMENT OF ADJACENT LOTS WITH NO ISSUE OF NON-COMPATIBLE INTERFACE.
- WATER DRAINAGE FROM ROOF IS TRANSMITTED VIA THE GUTTER AND DOWNSPOUT TO THE SANITARY STORM SEWER.
- ALL STRUCTURAL LUMBER USED FOR JOISTS IS TO BE KD STRUCTURAL SELECT DOUGLAS FIR. WALL FRAMING TO BE KD NO. 2 OR BETTER. ALL SHEATHING TO BE APA 15/32 CD RATED FOR EXPOSURE 1.
- SUBFLOORS TO BE CONSTRUCTED OF APA 23/32 CD RATED FOR SUBFLOOR EXPOSURE 1 WITH TONGUE AND GROOVE INTERFACE AND TOUCH SANDED.
- PRIMARY WALL INSULATION TO BE OWENS CORNING R19 FSK 6-1/2X16X96 OR EQUIVALENT. RESIDENCE TO BE WRAPPED WITH TYVEK MOISTURE BARRIER.
- ROOF TO HAVE A DUAL INSULATION SYSTEM. R-19 BATT TO BE PLACED WITHIN JOIST SPACE WITH 2" VENTED AIR SPACE. THE SECOND LAYER OF INSULATION WILL BE R-24 RIGID FOAM PLACED ABOVE MOISTURE BARRIER AND ROOF SHEATHING. THIS LAYER TO BE COVERED BY SINGLE MEMBRANE M-CLASS EDPM.

LEGEND

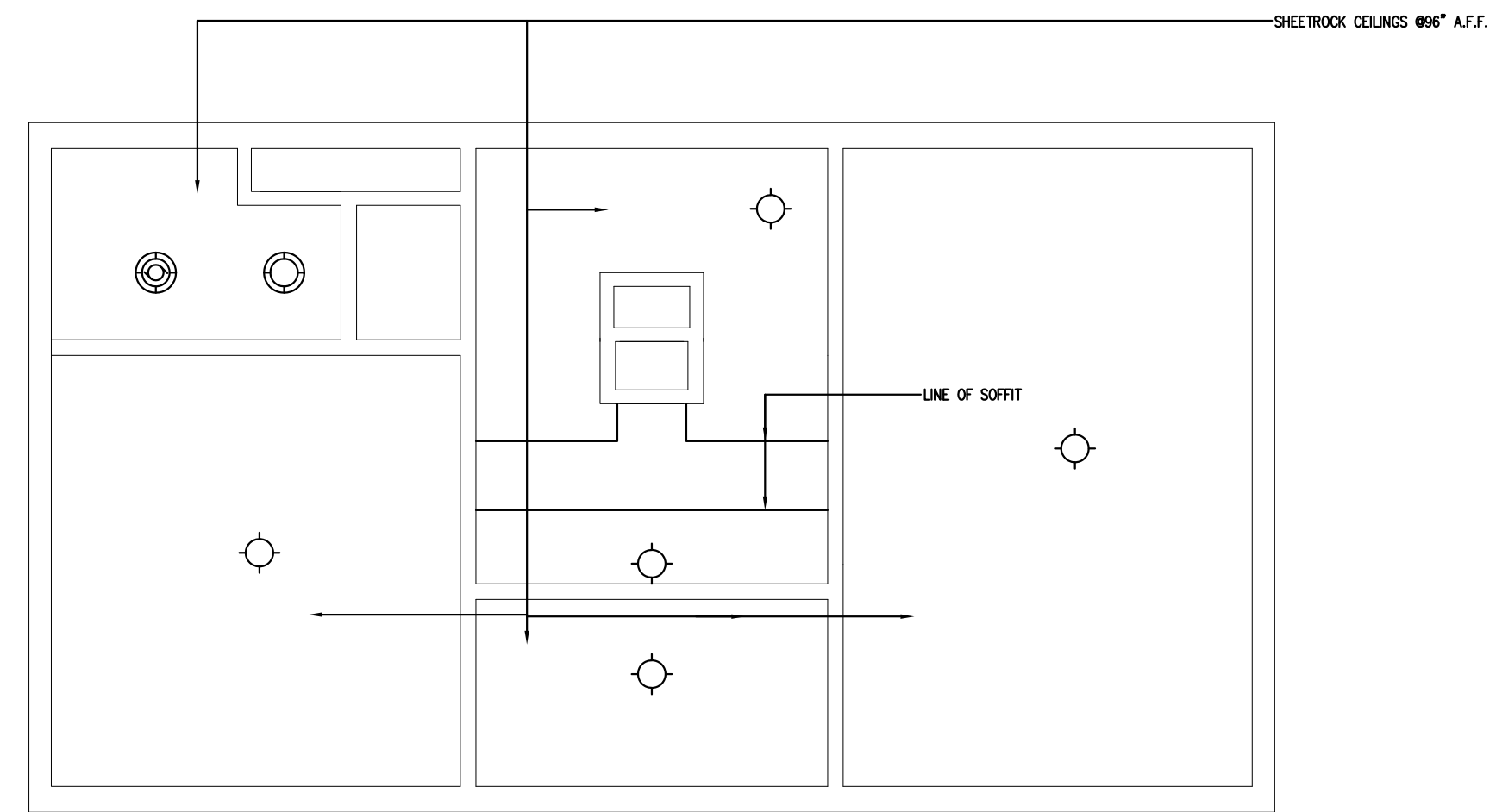




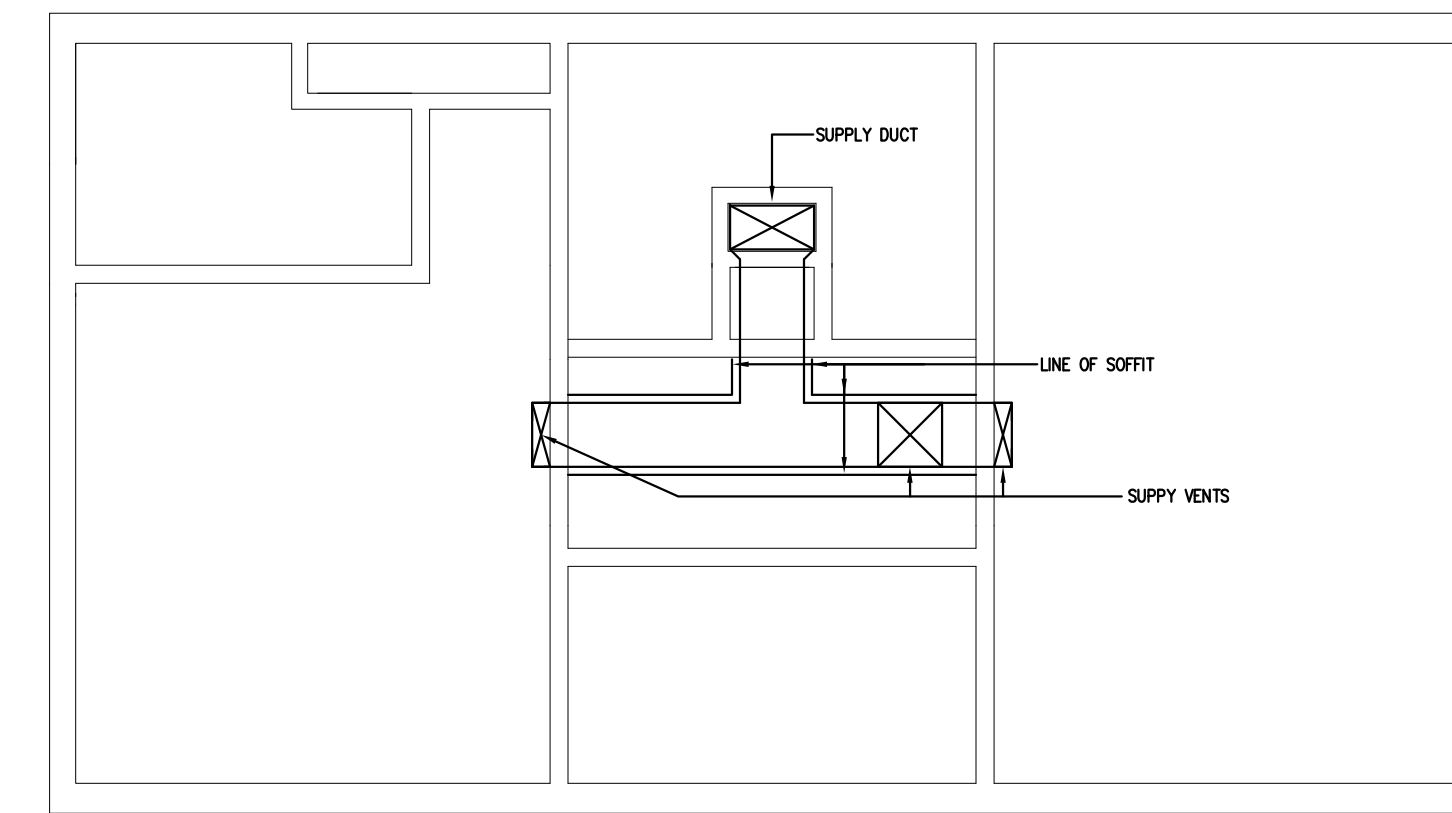
A FIRST FLOOR CEILING PLAN
1.4 SCALE: 1/4" = 1'-0" NORTH



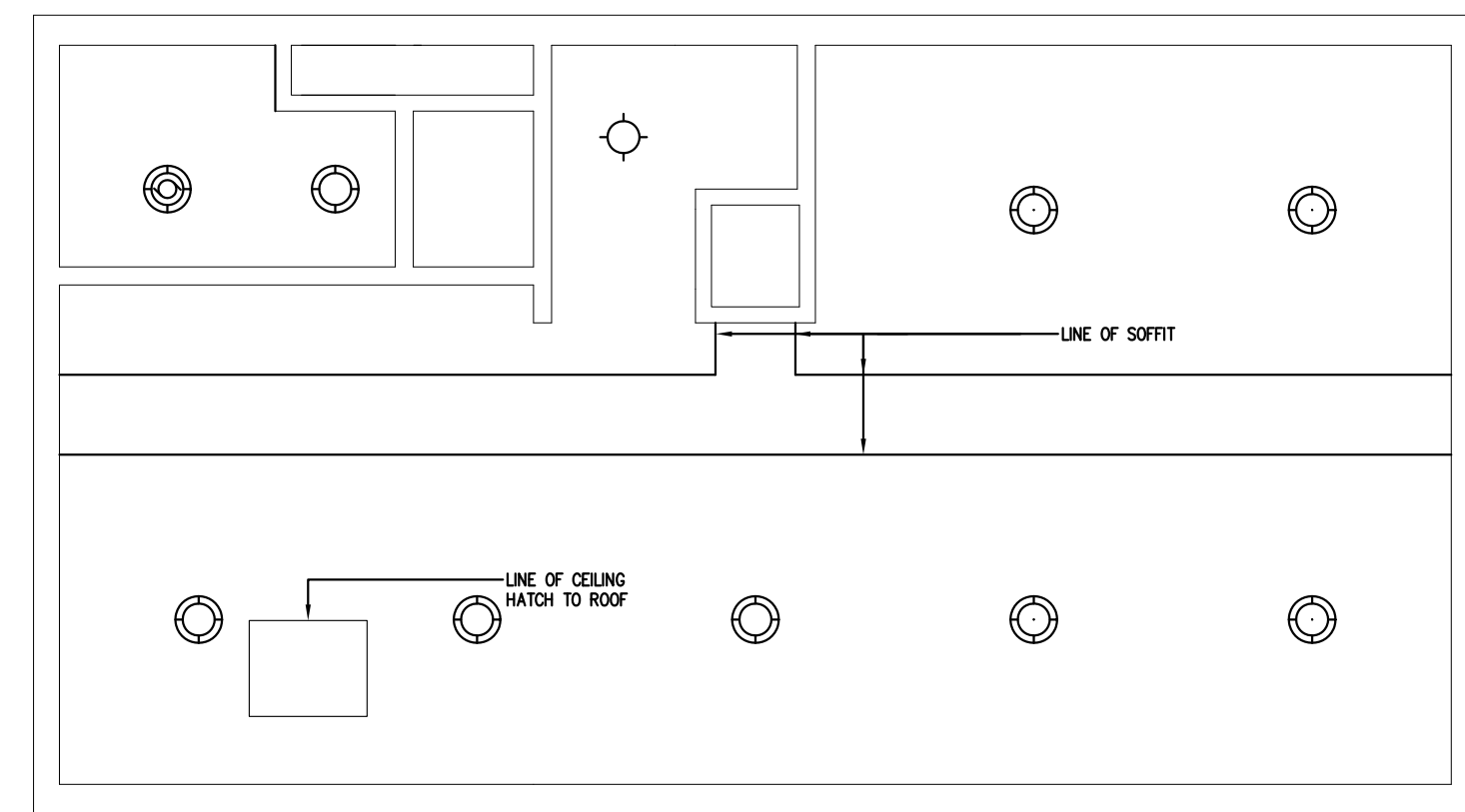
D FIRST FLOOR REGISTER PLAN
1.4 SCALE: 1/4" = 1'-0" NORTH



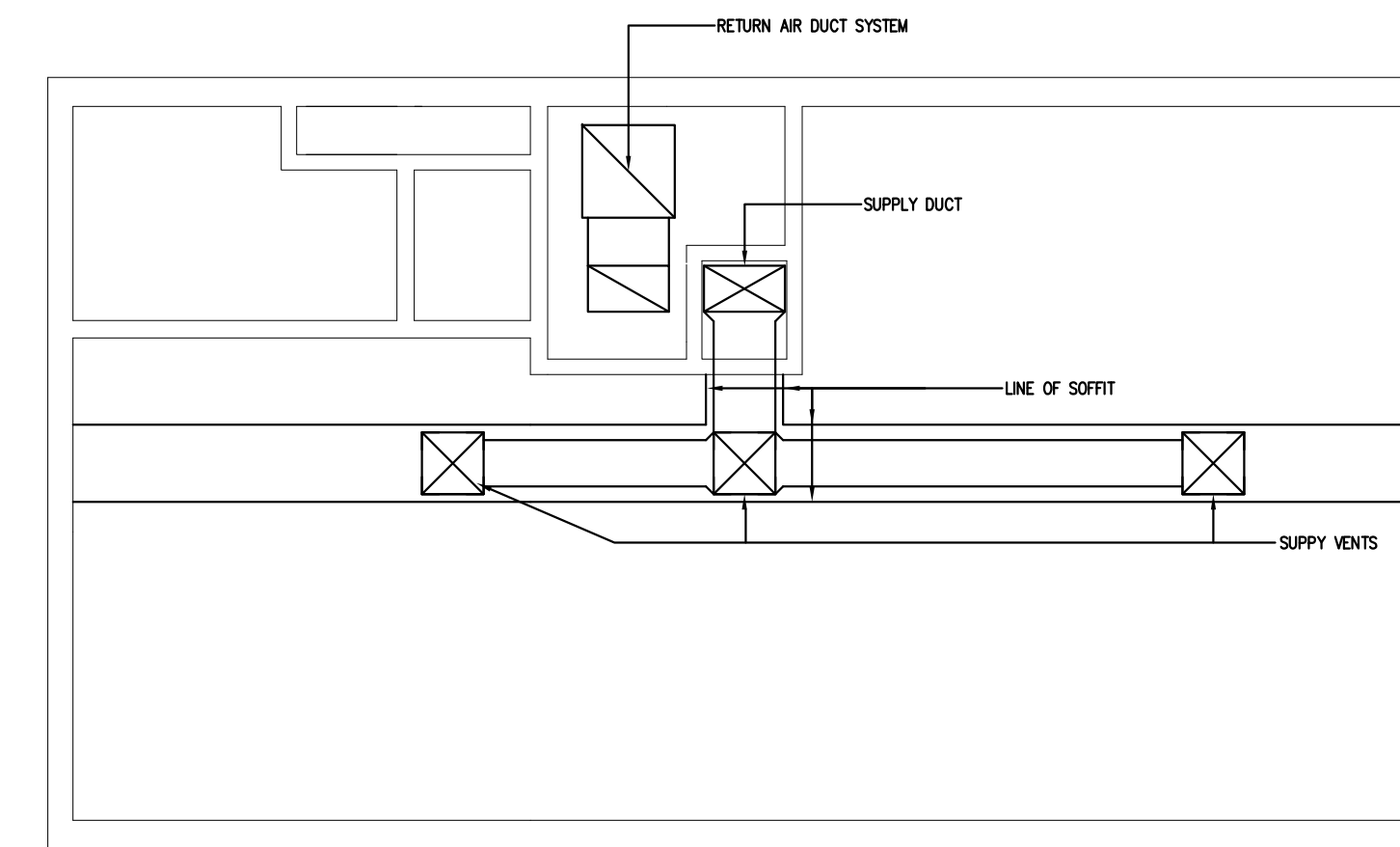
B 2ND FLOOR CEILING PLAN
1.4 SCALE: 1/4" = 1'-0" NORTH



E 2ND FLOOR REGISTER PLAN
1.4 SCALE: 1/4" = 1'-0" NORTH

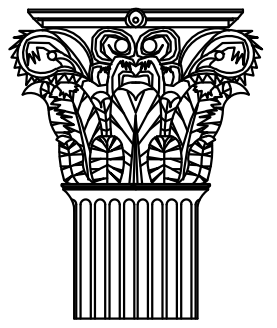


C ATTIC CEILING PLAN
1.4 SCALE: 1/4" = 1'-0" NORTH



F ATTIC REGISTER PLAN
1.4 SCALE: 1/4" = 1'-0" NORTH

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OWNER / BUILDER

DATE: 10/15/2013

SCALE: 1/4" = 1'-0"

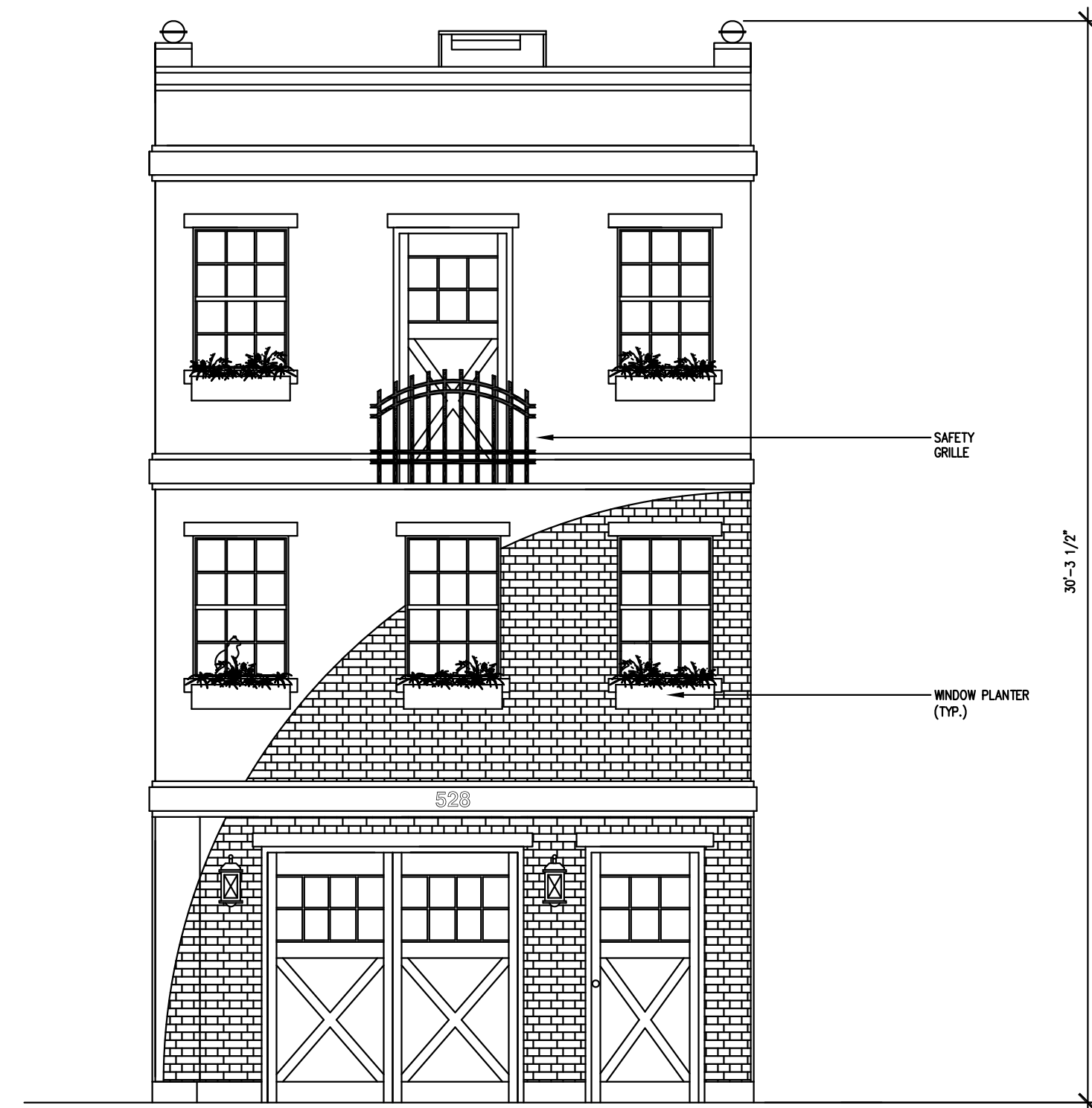
PROJECT: SENIUK RESIDENCE

DRAWN BY: SRH REVISION: 2.01

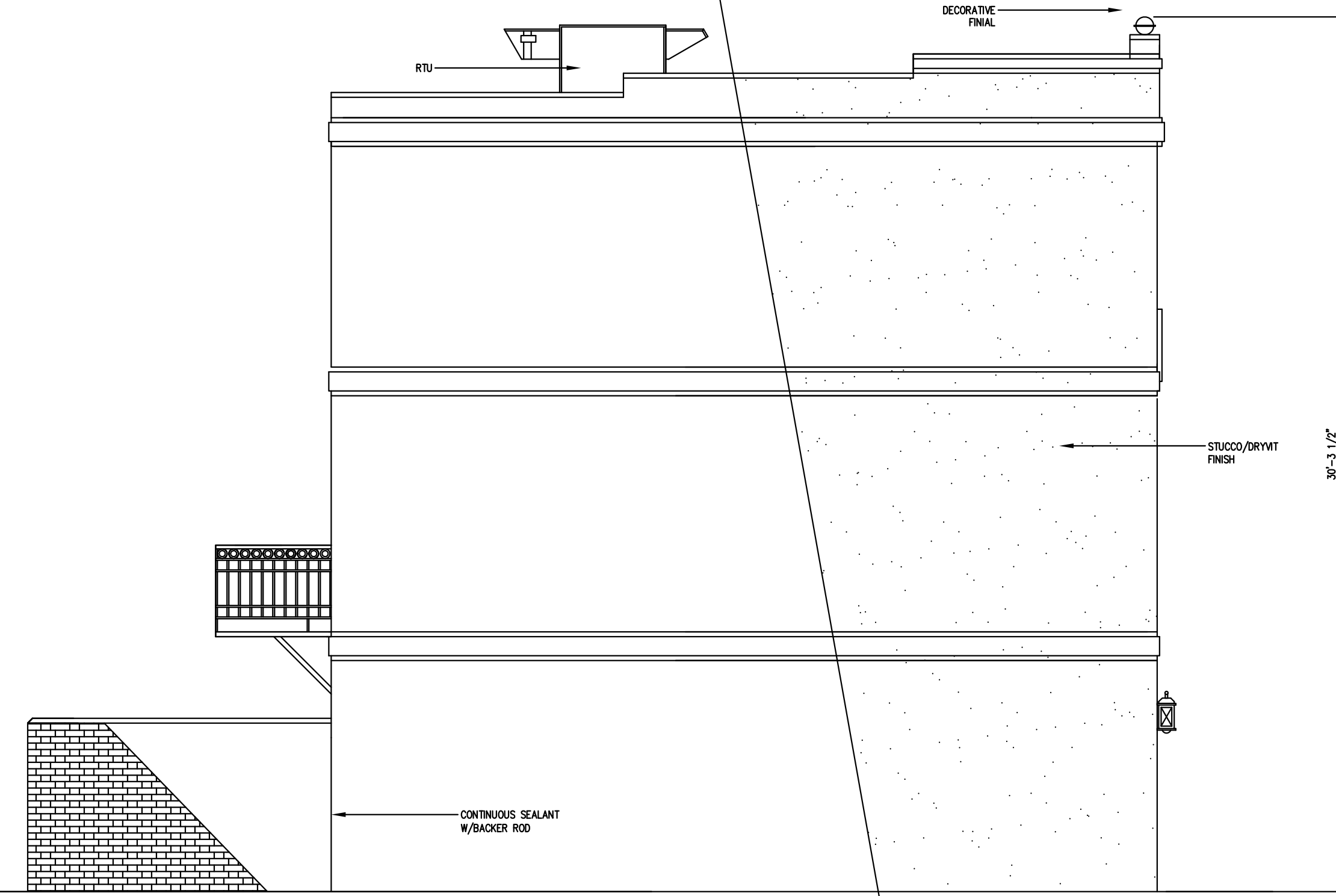
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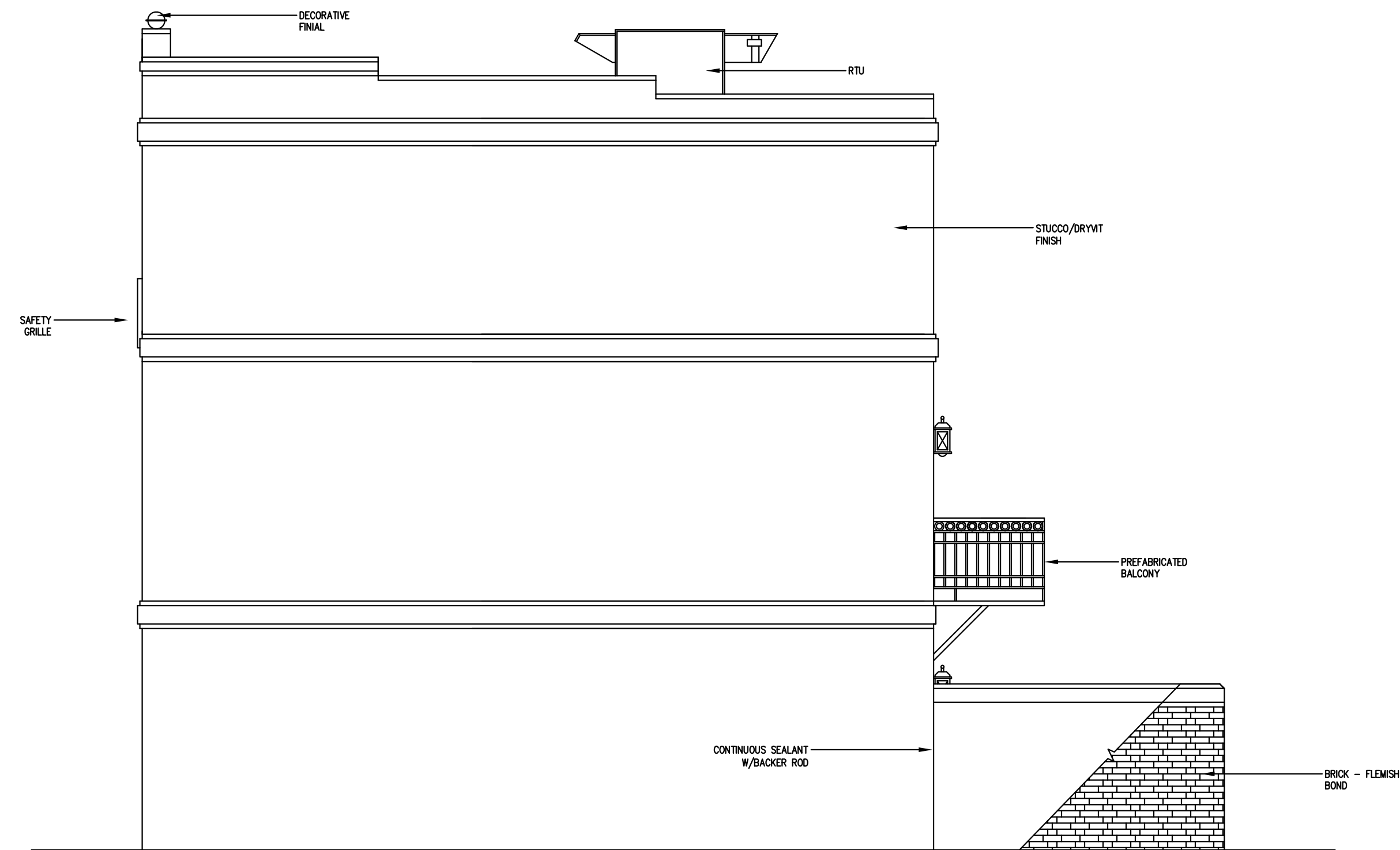
A-1.4



E3 NORTH ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"



E1 EAST ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"

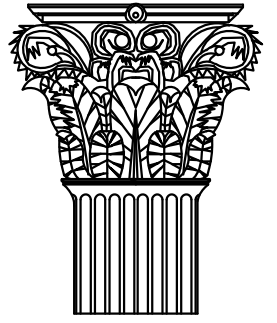


E2 WEST ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"



E4 SOUTH ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"

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SCALE: 1/4" = 1'-0"

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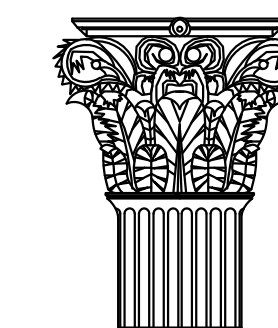
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DRAWING TITLE: EXTERIOR ELEVATIONS

DRAWING NUMBER:

A-2.0

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SCALE: 1/2" = 1'-0"

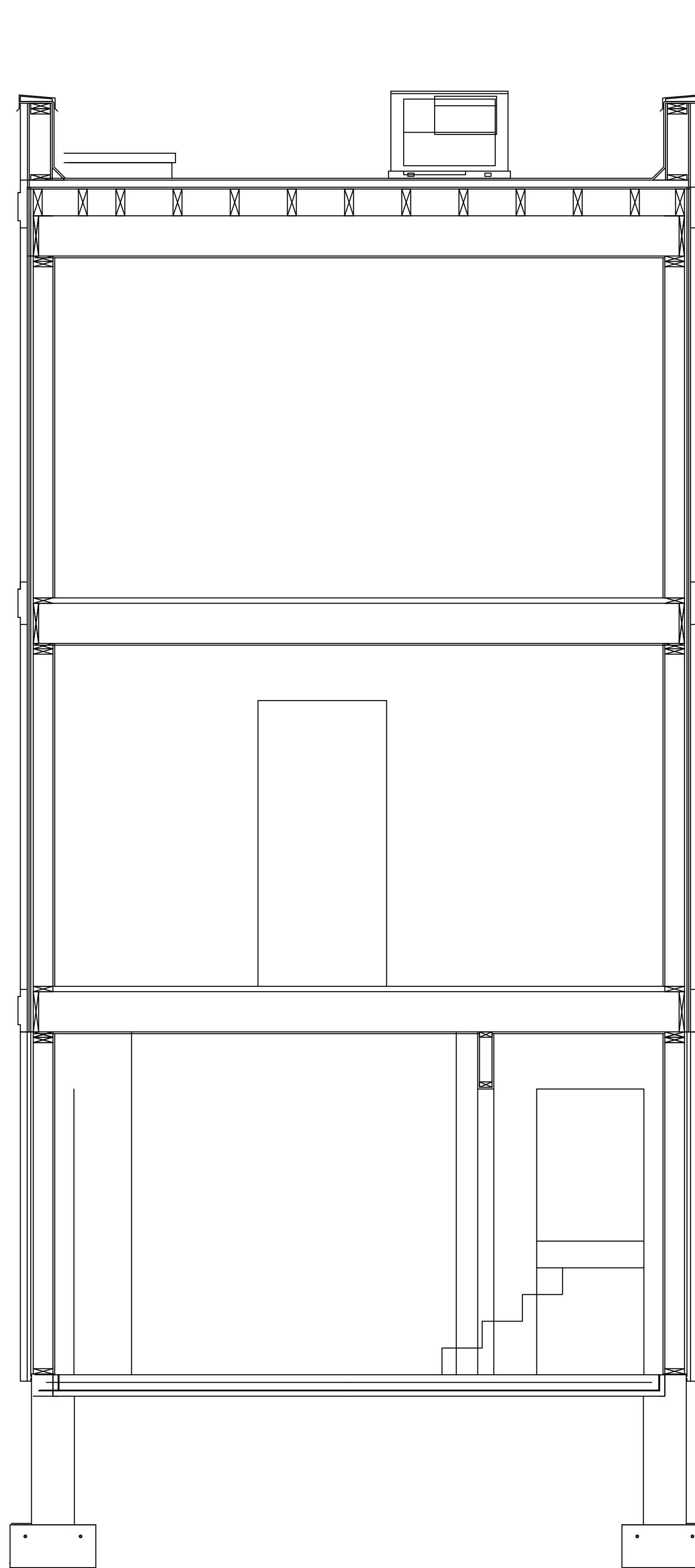
PROJECT: SENIUK RESIDENCE

DRAWN BY: SRH REVISION: 2.01

DRAWING TITLE: BUILDING SECTIONS

DRAWING NUMBER:

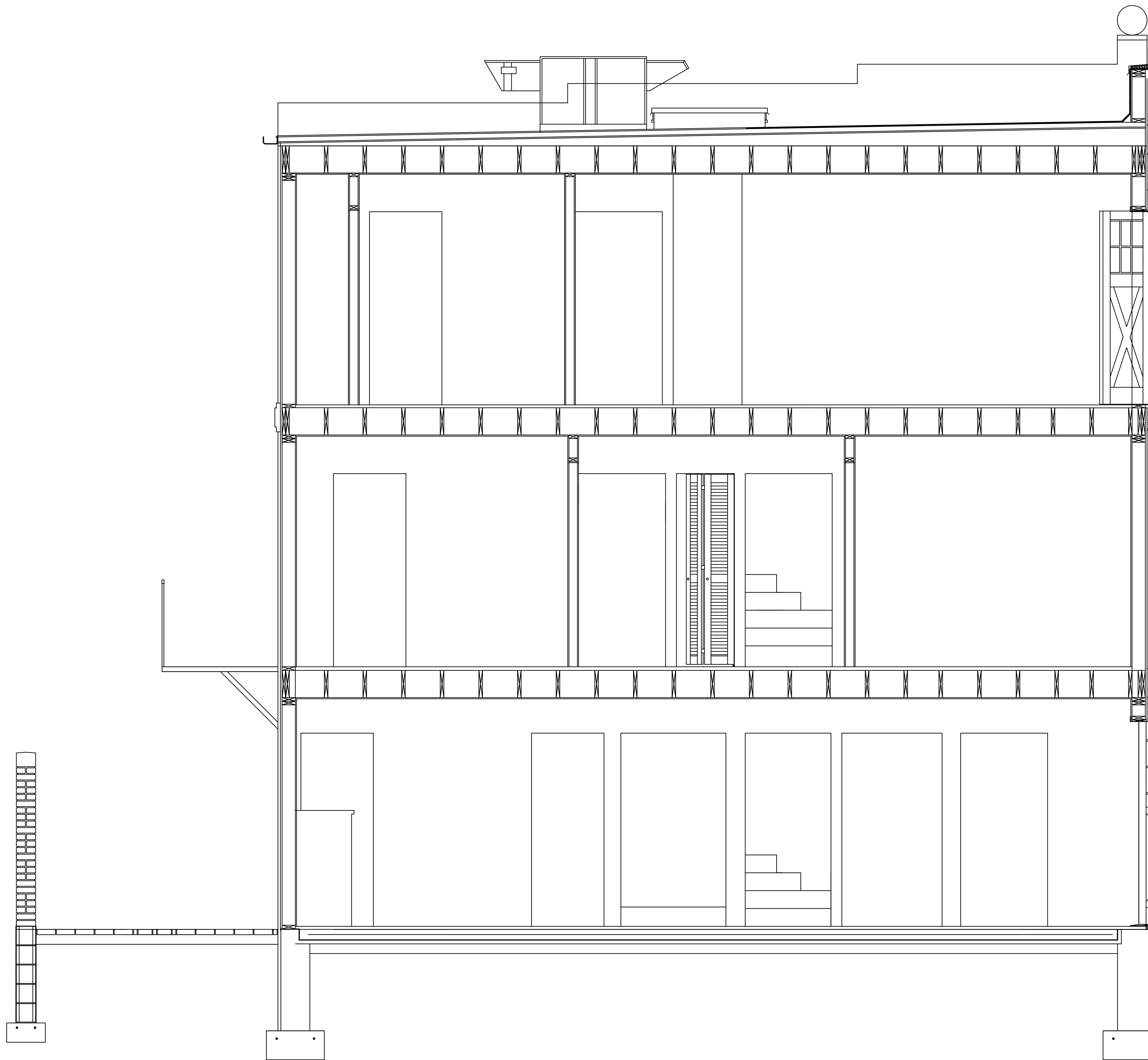
A-3.0



A'
A-3.0

SECTION A - A'

SCALE: 1/2" = 1'-0"

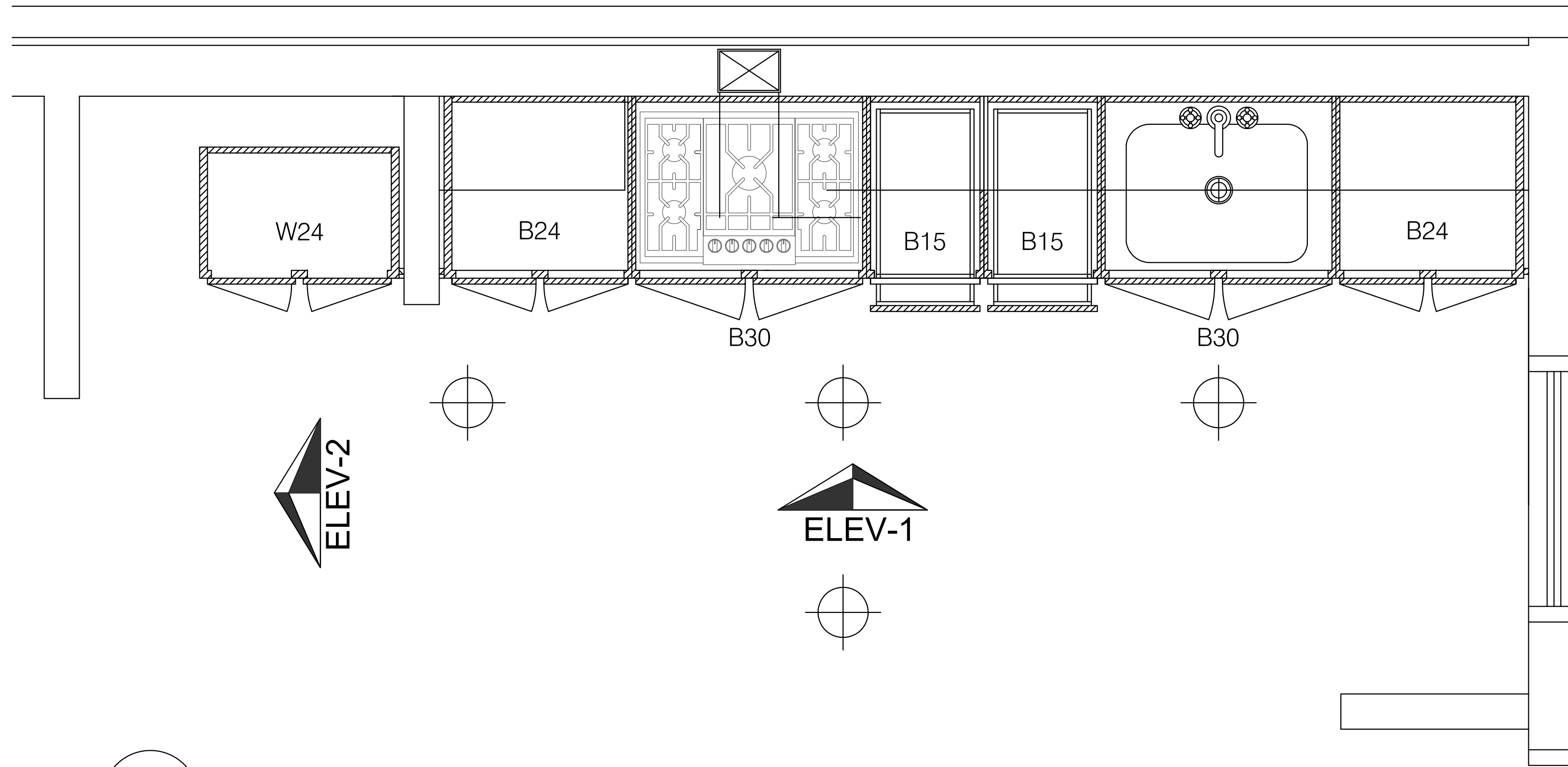


A
A-3.0

B'
A-3.0

SECTION B - B'

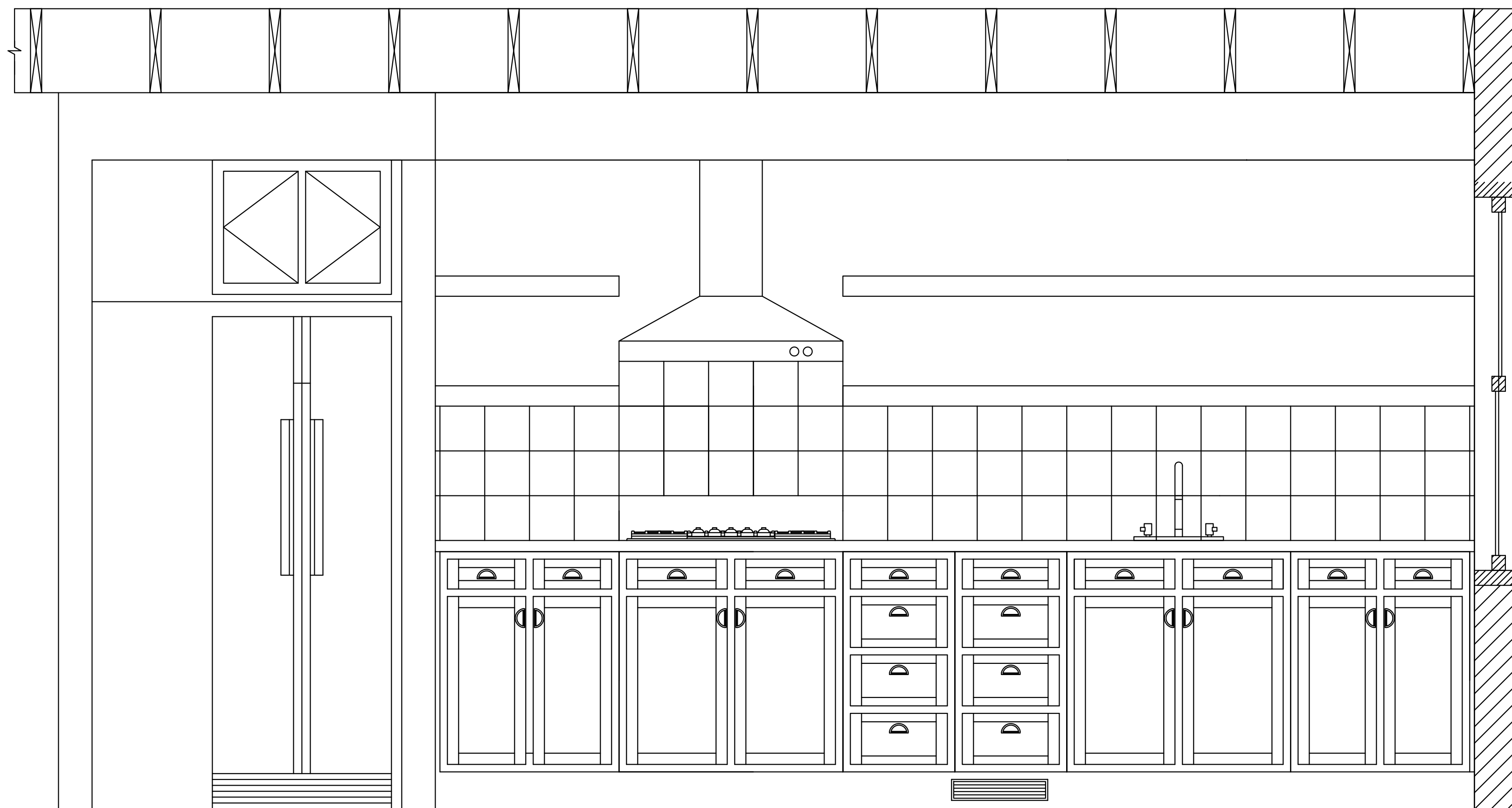
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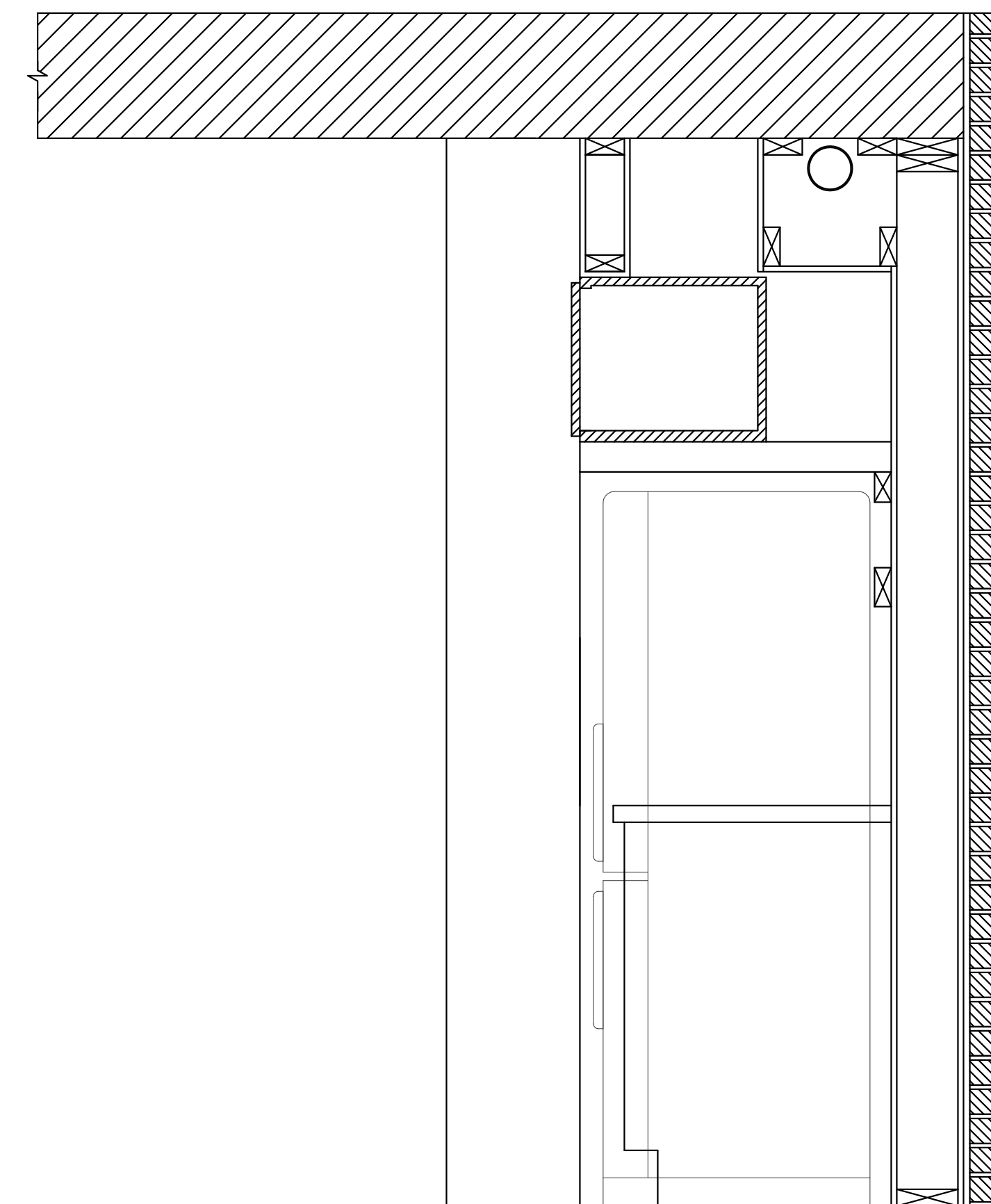
P1 KITCHEN PLAN
A-4.0 SCALE: 1" = 1'-0"

KITCHEN NOTES

1. SEE DRAWING E-1.0 FOR ELECTRIC FIXTURES, HARDWARE AND WIRING DIAGRAMS.
2. SEE DRAWING P-1.0 FOR PLUMBING DIAGRAM.
3. CABINET DOOR HARDWARE: HAEFELE A-SERIES 110 DEGREE HINGE ARM W/CAM ADJUST, FULL OVERLAY SCREW MOUNT 311.60.500
4. DRAWER BOXES: HAEFELE MAPLE, PREFINISHED 5/8" MAPLE PLY, 1/4" DOVETAIL BULLNOSE B.25860.
5. DRAWER SLIDES: HAEFELE 550 (21 5/8") 553.56.206.
6. DRAWER & DOOR PULLS TO BE PROVIDED BY OWNER.
7. EXISTING REFRIGERATOR TO BE PROVIDED BY OWNER.
8. STOVETOP: BOSCH 800 SERIES 30-in 5-BURNER GAS COOKTOP MODEL #: NGM8054UC
9. UNDERMOUNT KITCHEN SINK TO BE PROVIDED BY OWNER. MODEL TO BE COMPARABLE TO KRAUS 16-GAUGE SINGLE-BASIN STAINLESS STEEL KITCHEN SINK MODEL #: KHU100-30

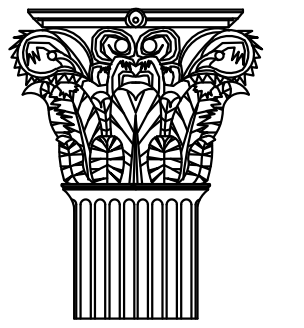


E1 KITCHEN ELEVATION
A-4.0 SCALE: 1" = 1'-0"



E2 KITCHEN ELEVATION
A-4.0 SCALE: 1/4" = 1'-0"

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SCALE: 1/4" = 1'-0"

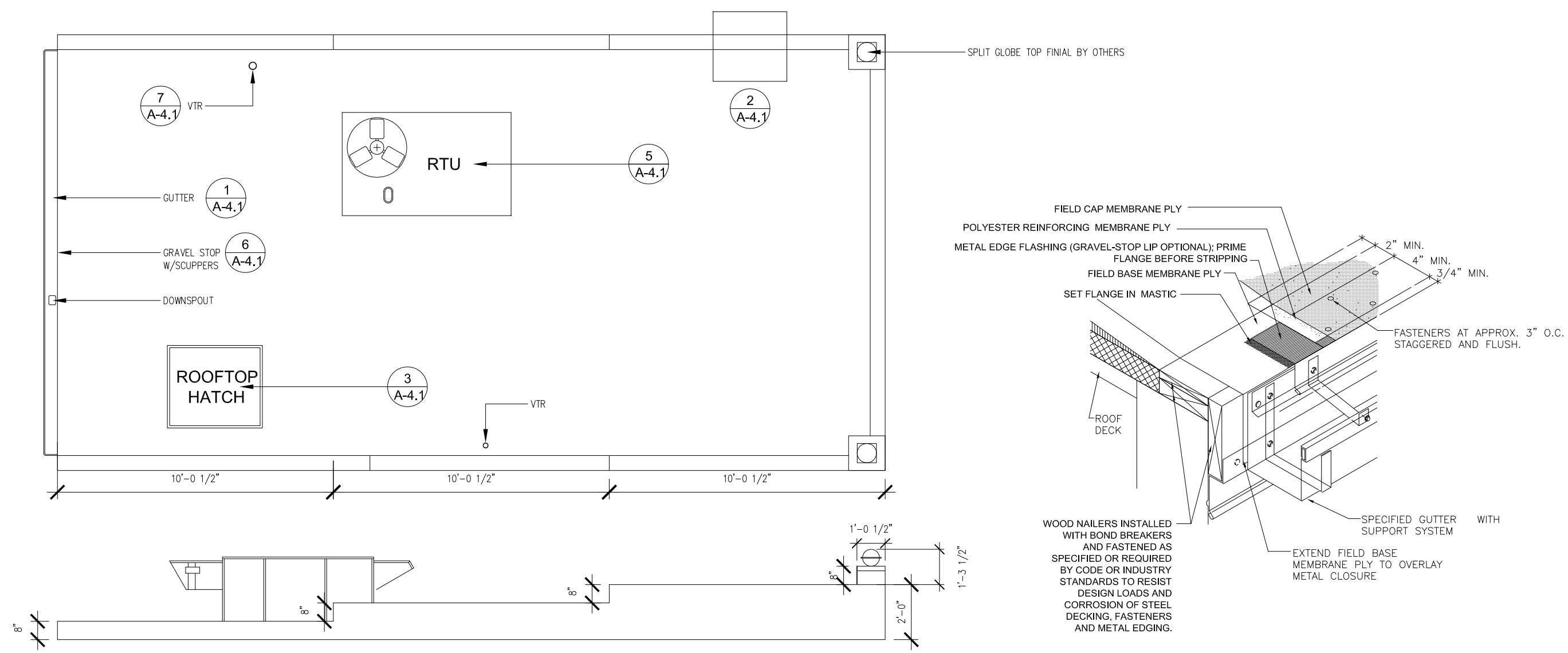
PROJECT: SENIUK RESIDENCE

DRAWN BY: SRH REVISION: 2.01

DRAWING TITLE: KITCHEN PLAN & SCHEDULES

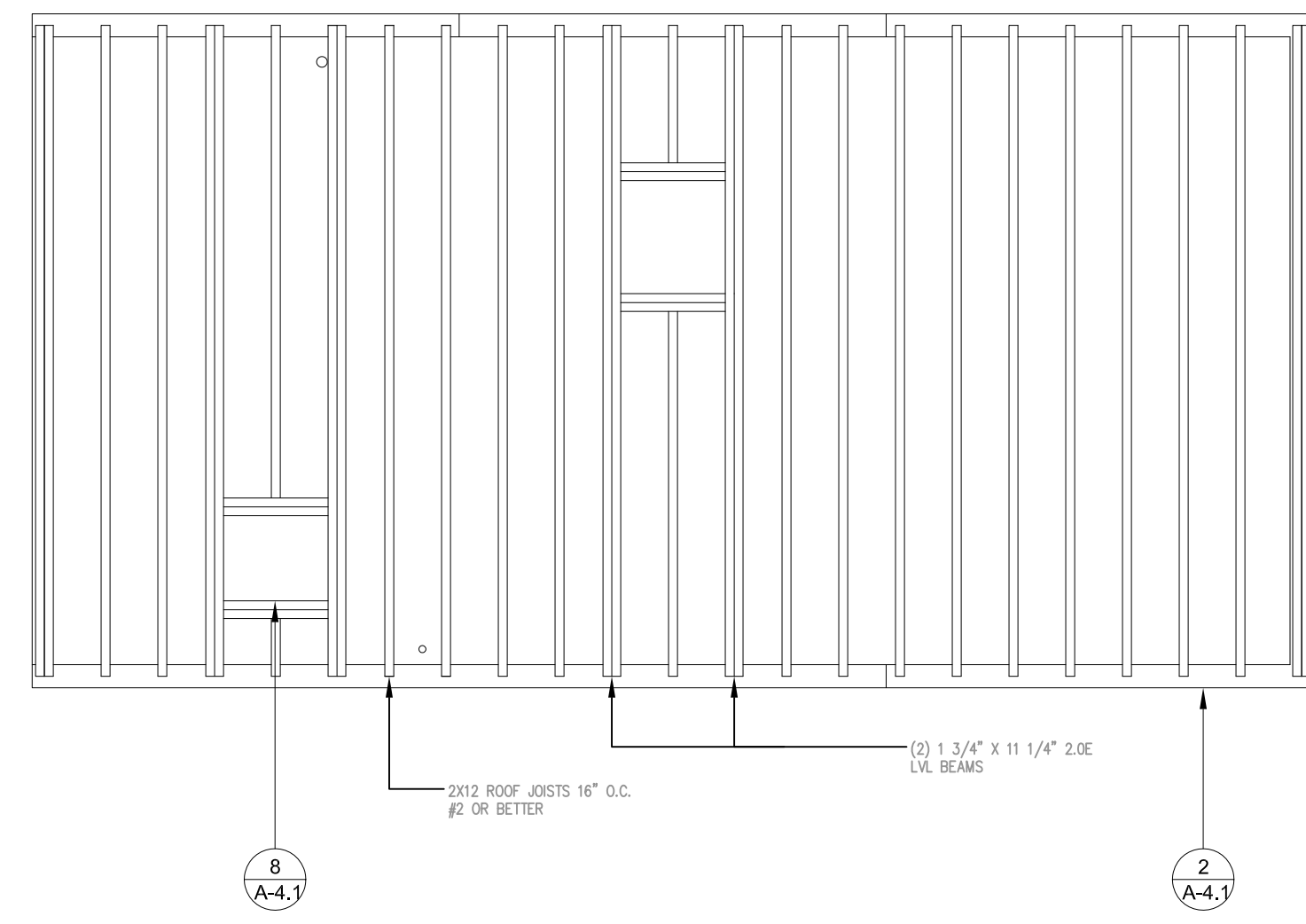
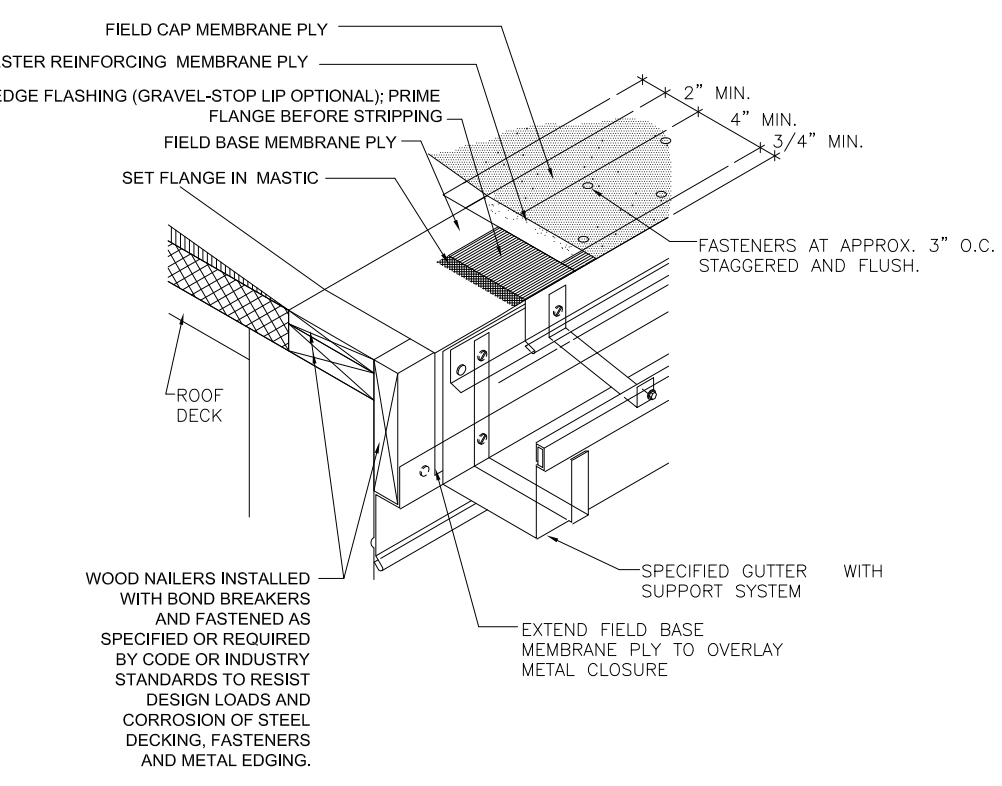
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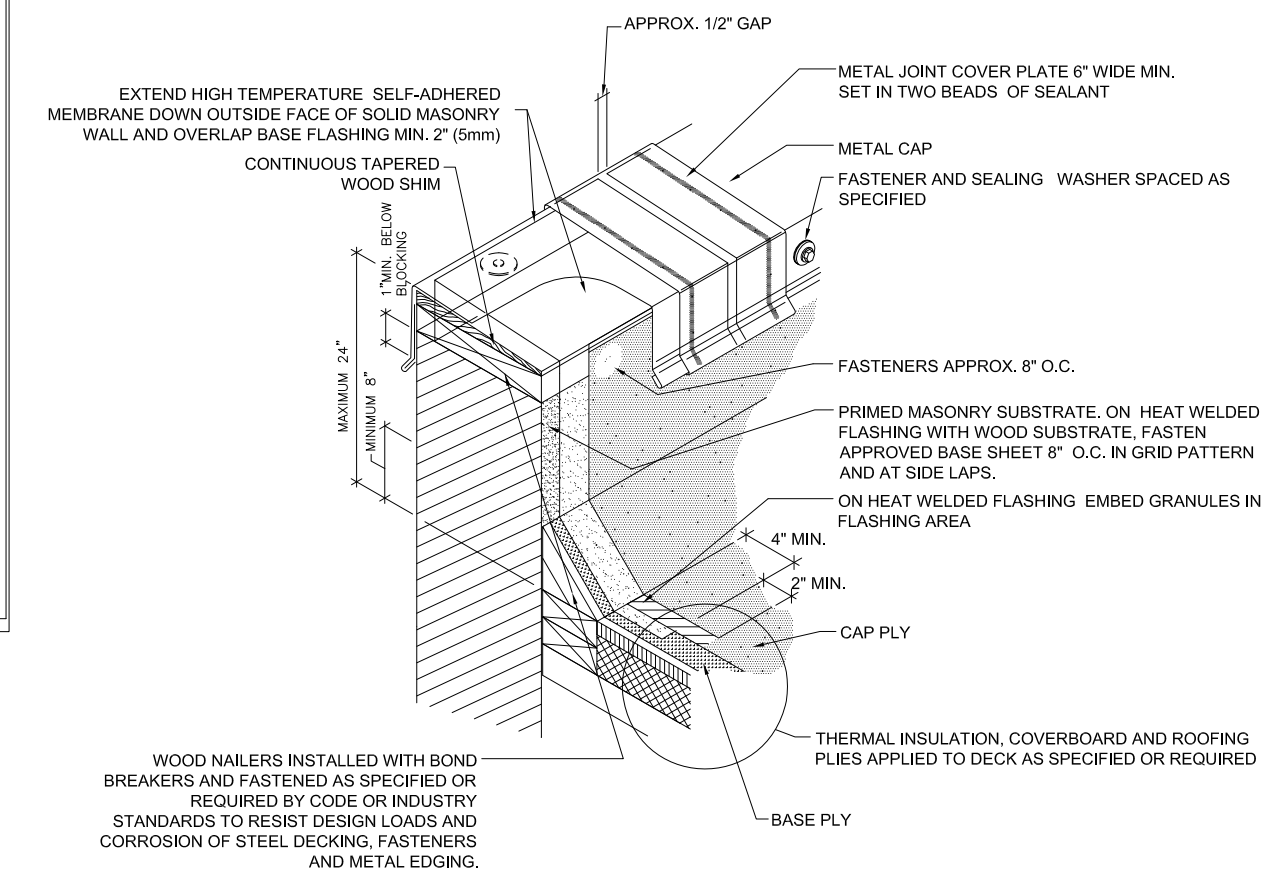


1
A-4.1
ROOF PLAN & ELEVATION
SCALE: 1/4" = 1'-0"

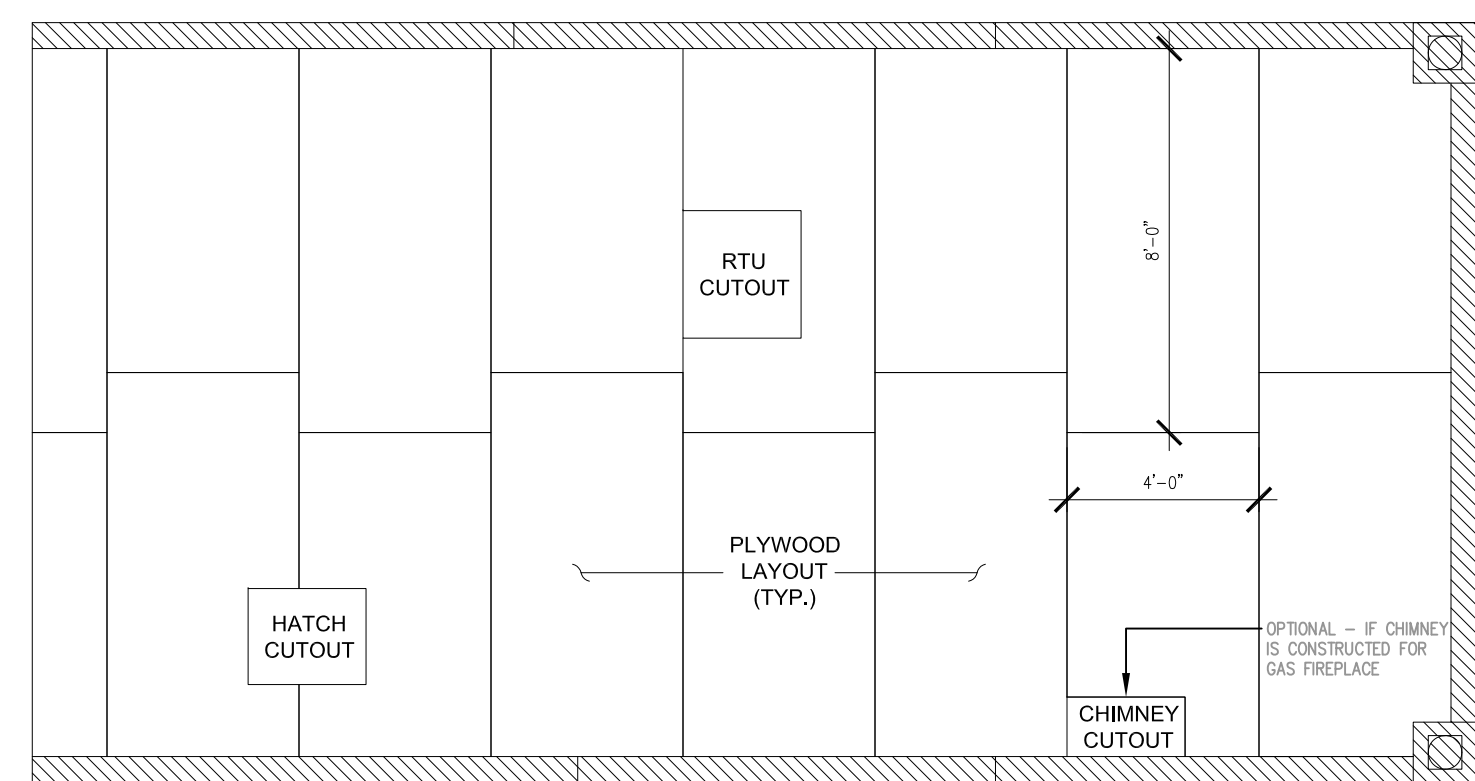
1
A-4.1
GUTTER DETAIL
N.T.S.



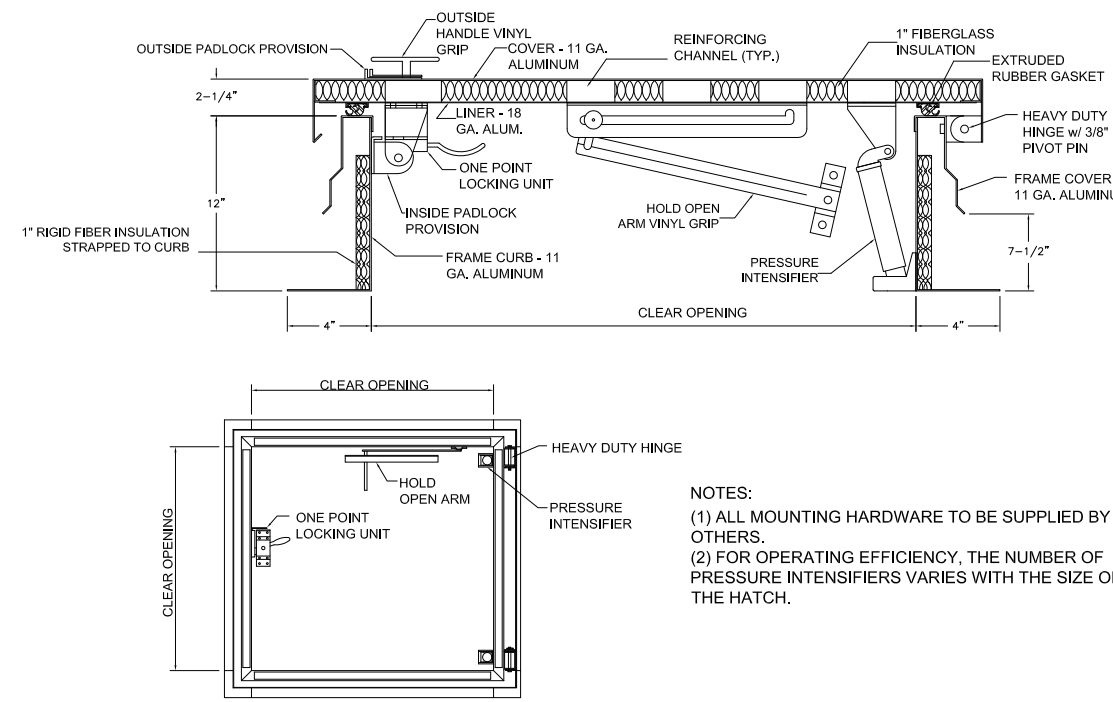
2
A-4.1
ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



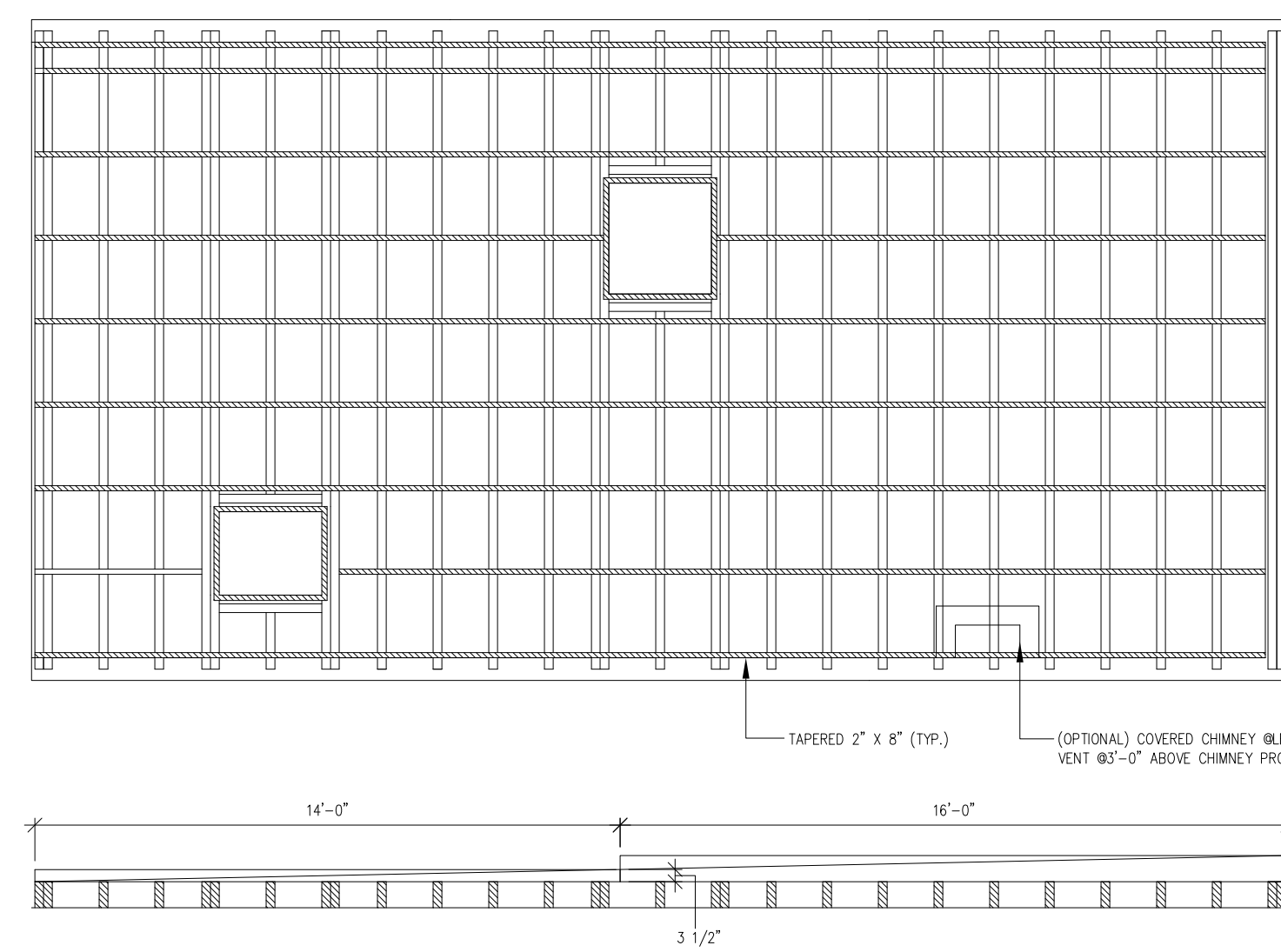
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A-4.1
PARAPET WALL DETAIL
N.T.S.



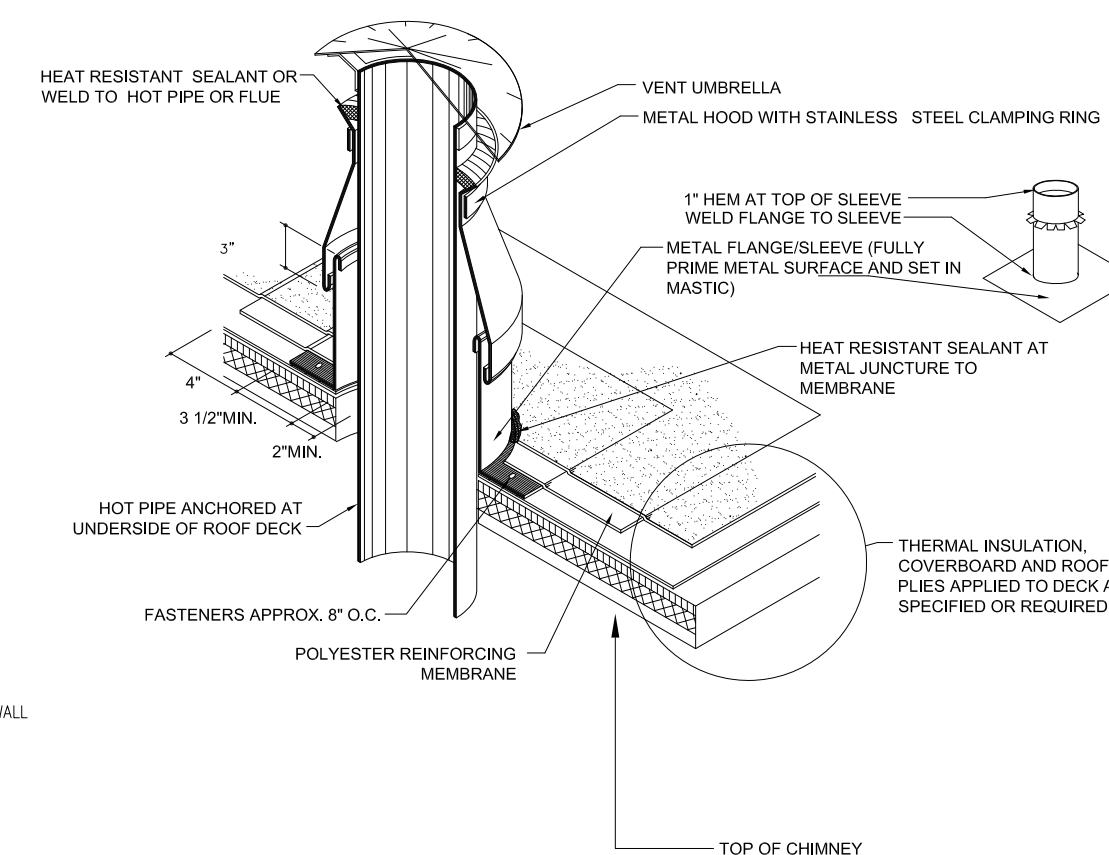
3
A-4.1
ROOF DECK PLAN & SECTION
SCALE: 1/4" = 1'-0"



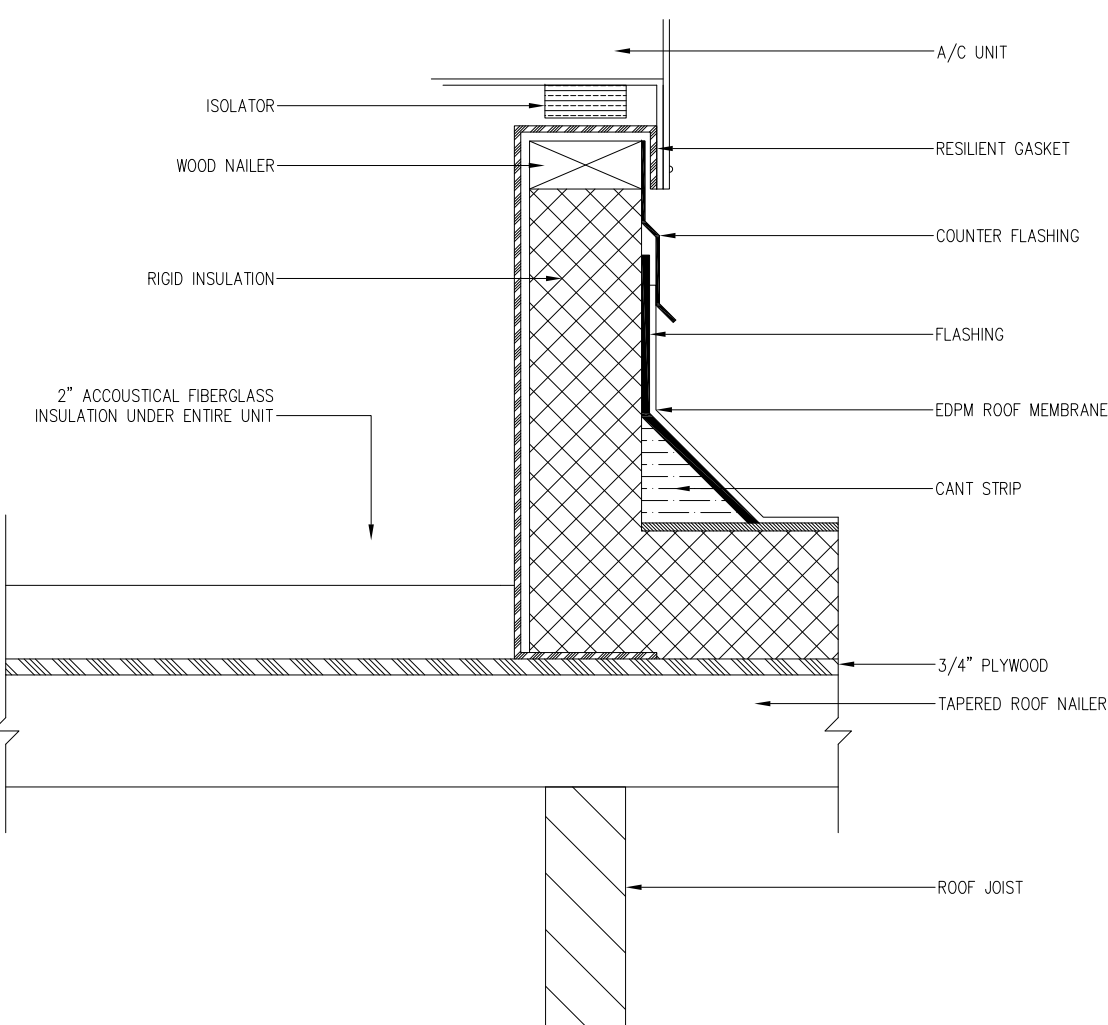
3
A-4.1
ROOFTOP HATCH DETAIL
N.T.S.



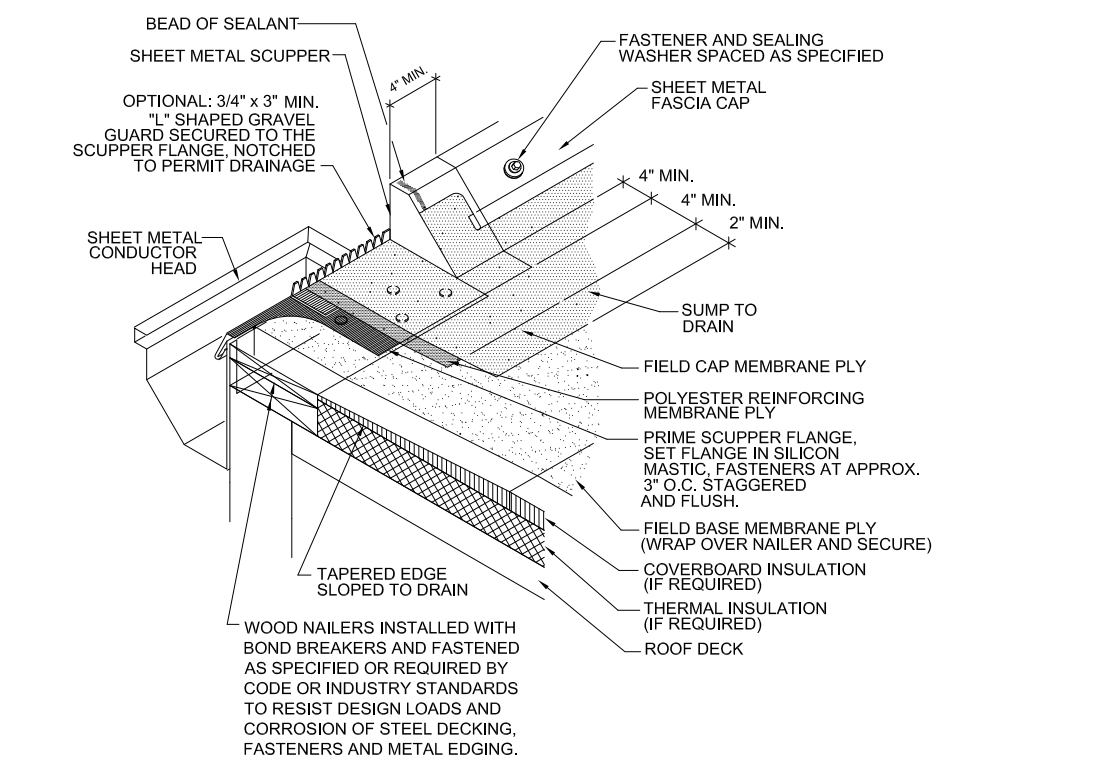
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A-4.1
TAPERED ROOF FURRING
SCALE: 1/4" = 1'-0"



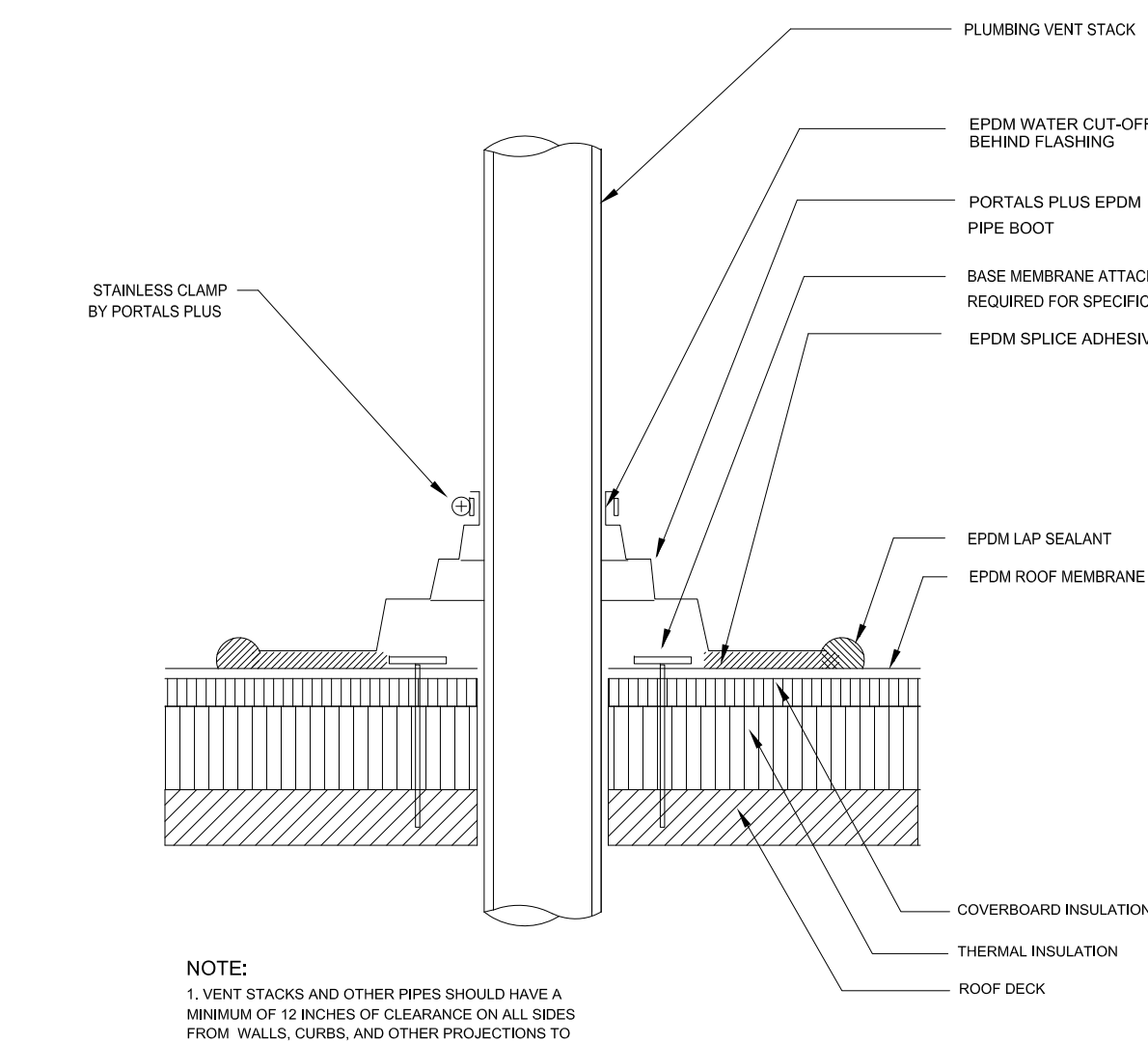
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A-4.1
FLUE DETAIL
N.T.S.



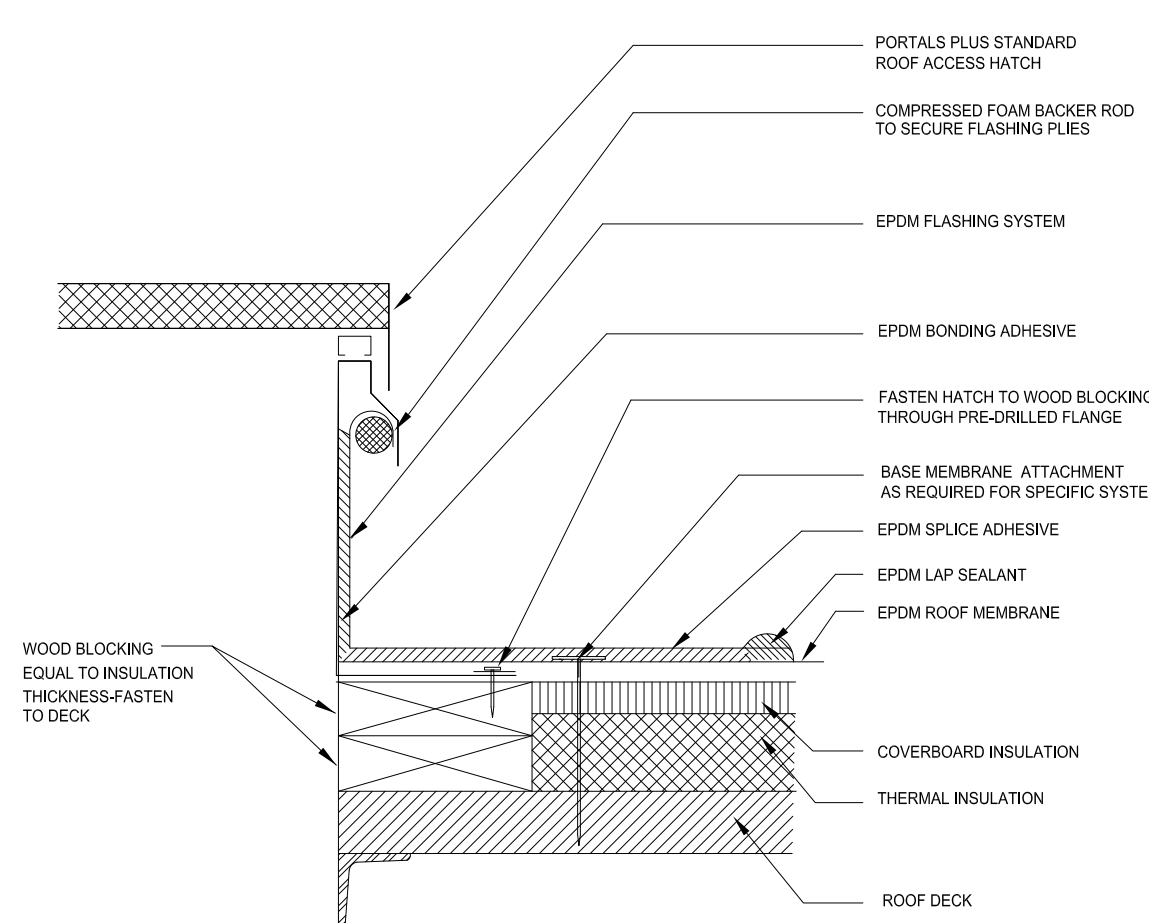
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A-4.1
ROOFTOP A/C CURB DETAIL
N.T.S.



6
A-4.1
GRAVEL STOP W/SCUPPER DETAIL
N.T.S.

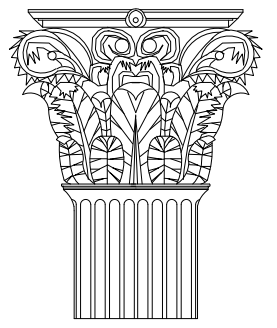


7
A-4.1
VTR DETAIL
N.T.S.



8
A-4.1
EDPM DETAIL
N.T.S.

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AGE QUOD AGIS

SENIUK RESIDENCE
528 TITAN STREET
PHILADELPHIA, PA 19147
OWNER / BUILDER

DATE: 10/15/2013

SCALE: AS INDICATED

PROJECT: SENIUK RESIDENCE

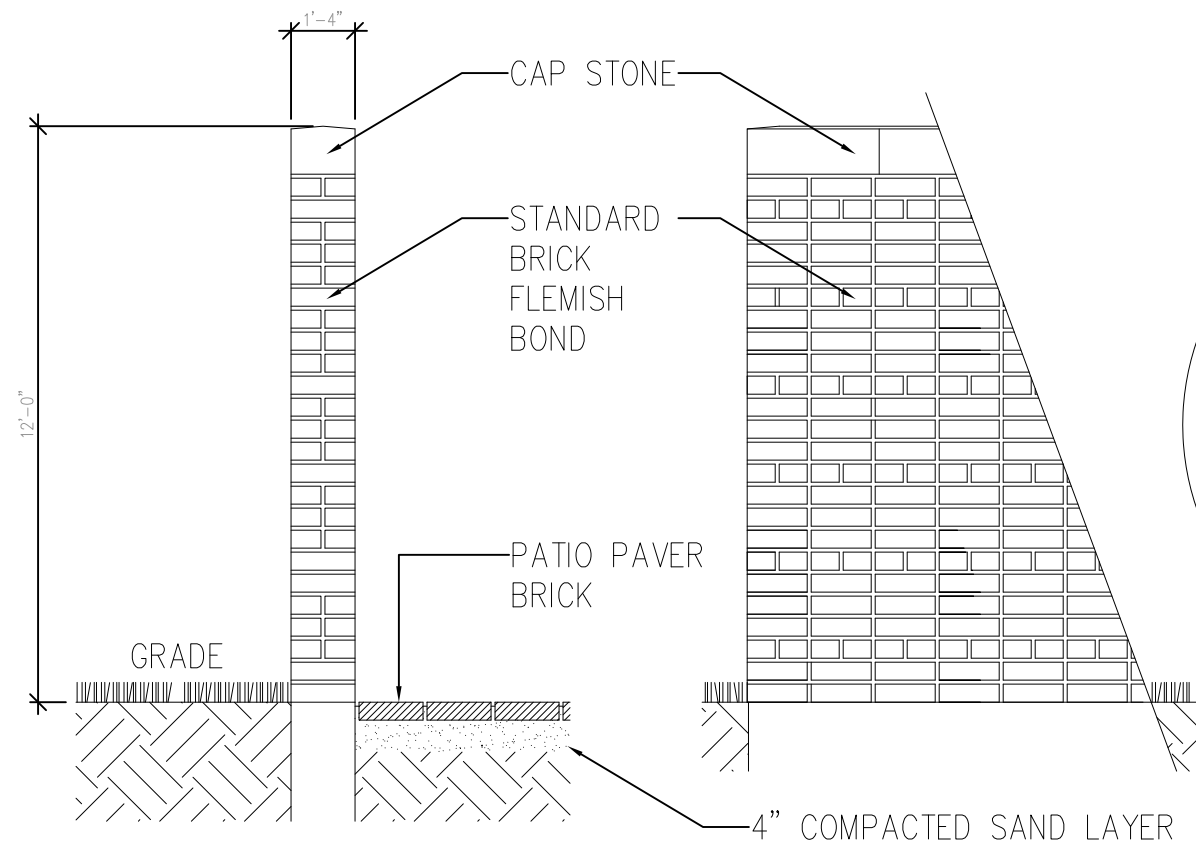
DRAWN BY: SRH

REVISION: 2.01

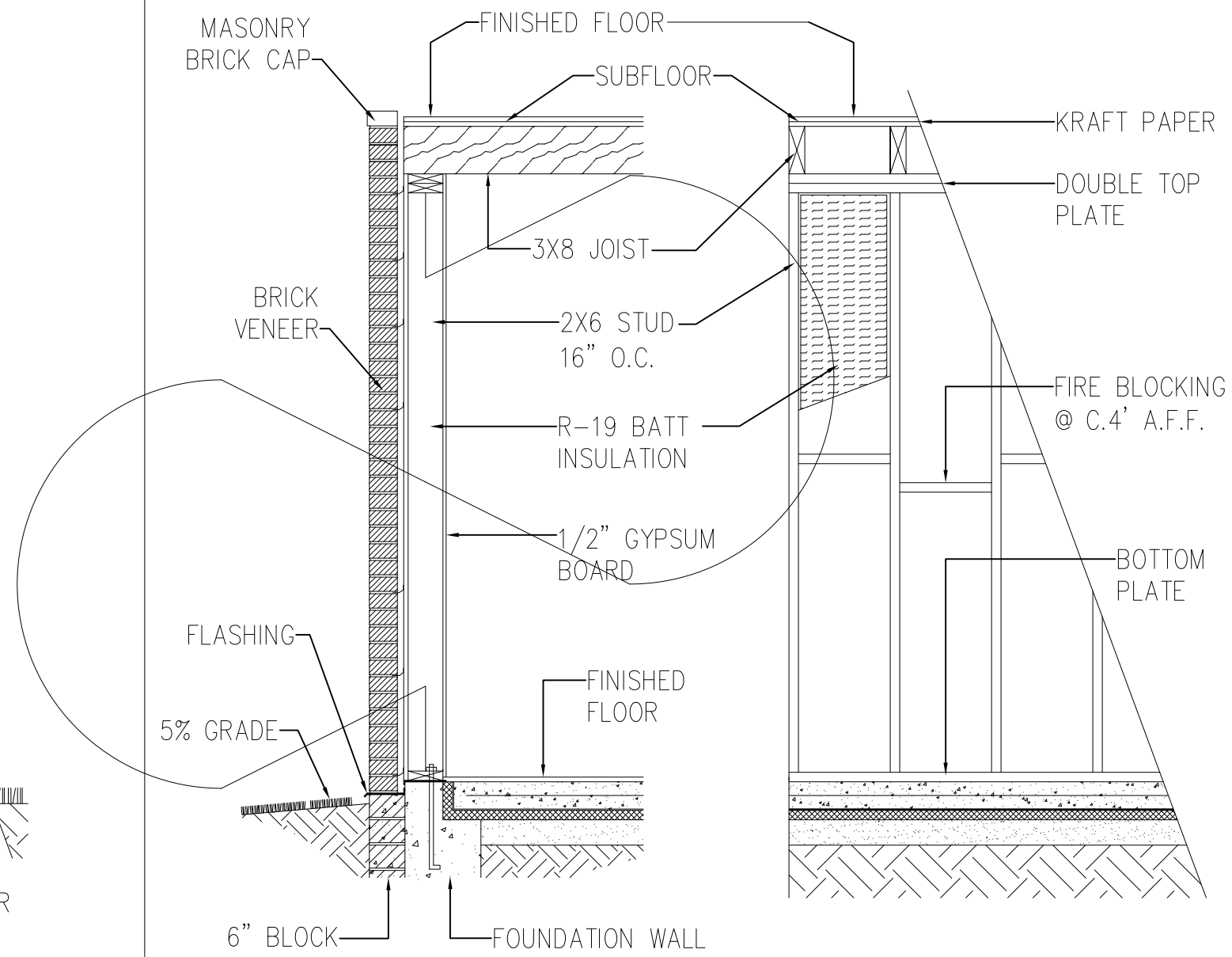
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DRAWING NUMBER:

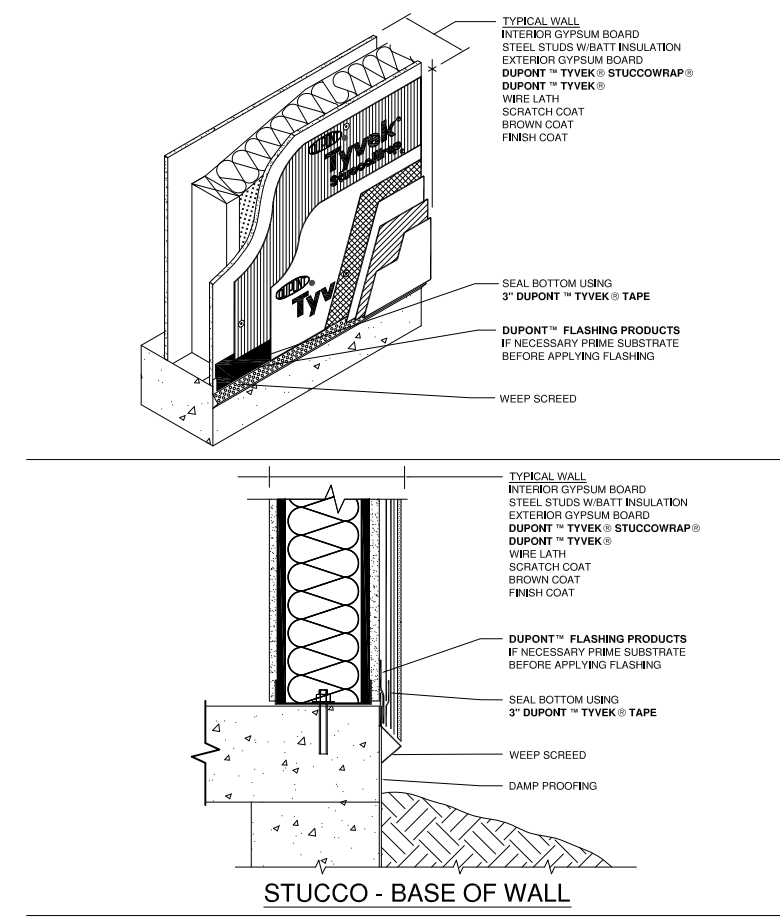
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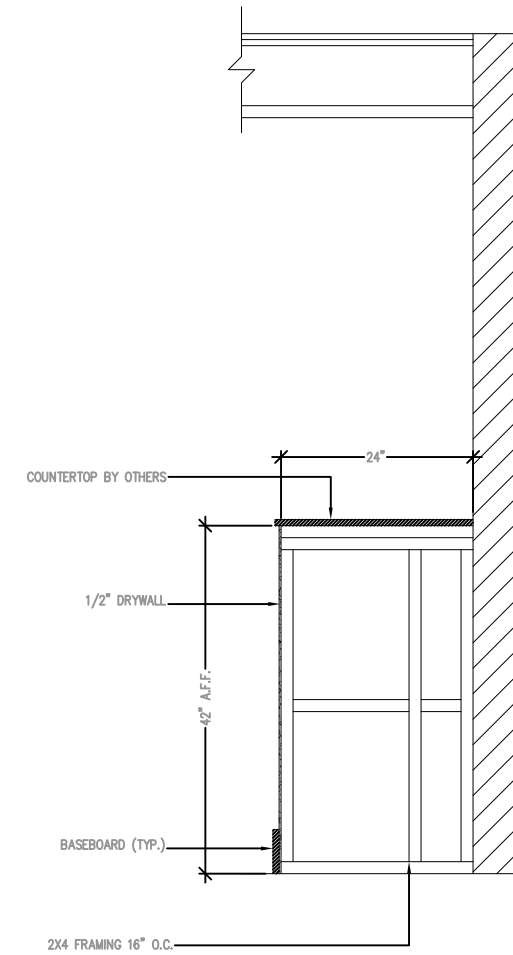
1 EXTERIOR BRICK GARDEN WALL



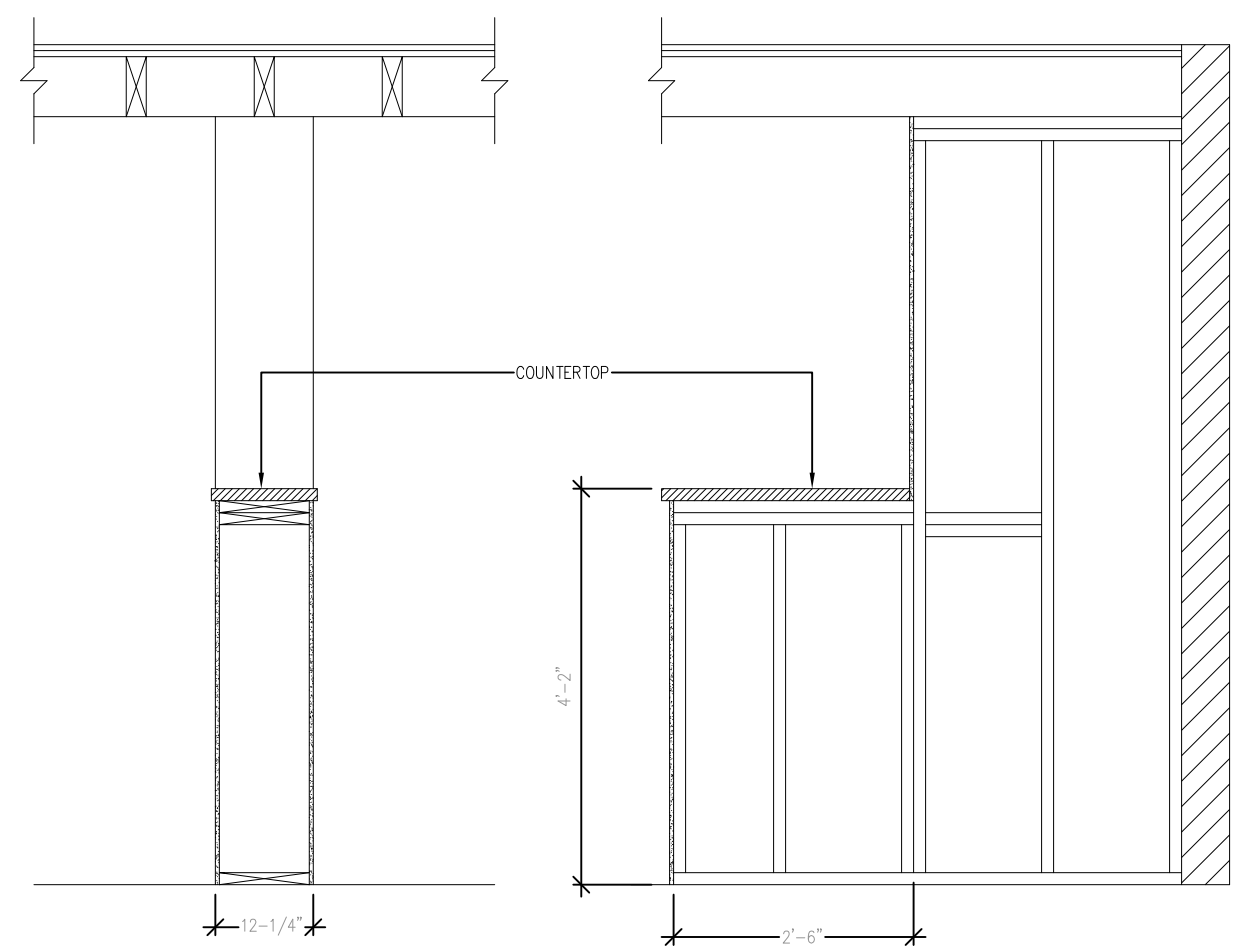
2 EXTERIOR BRICK VENEER WALL



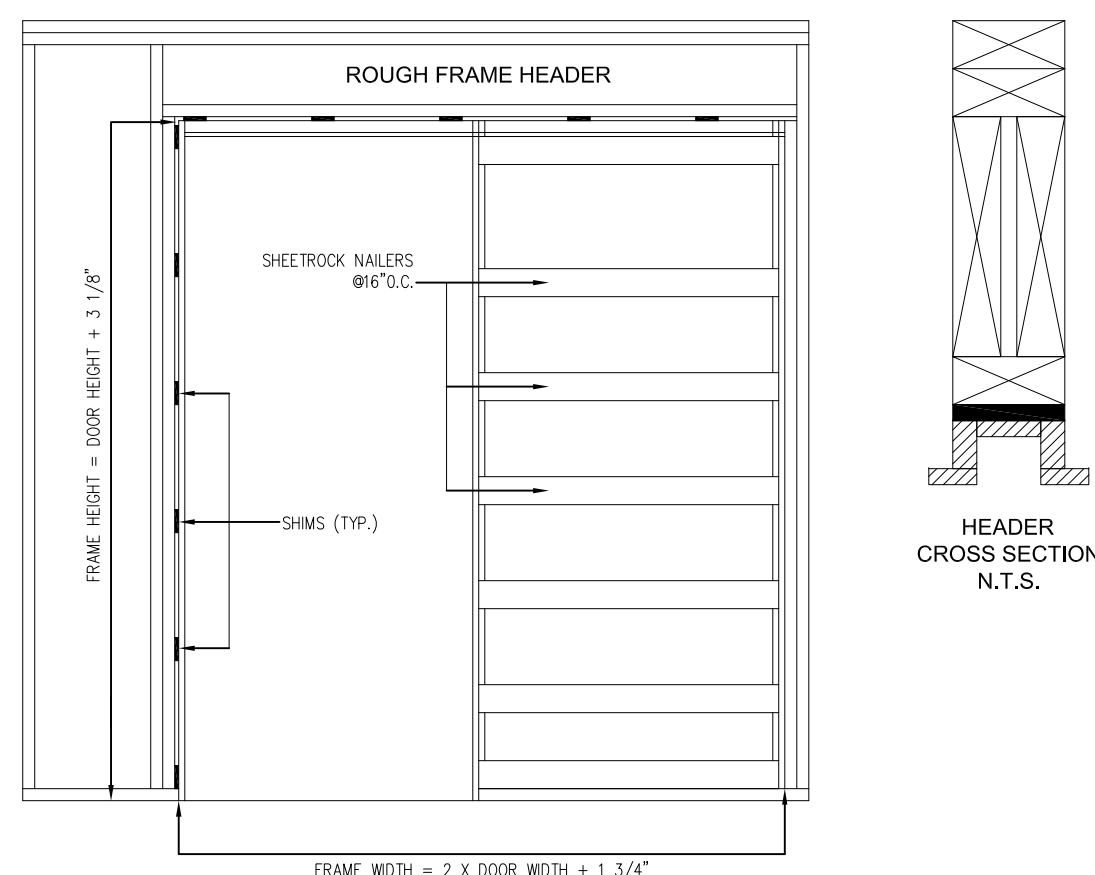
3 EXTERIOR STUCCO WALL



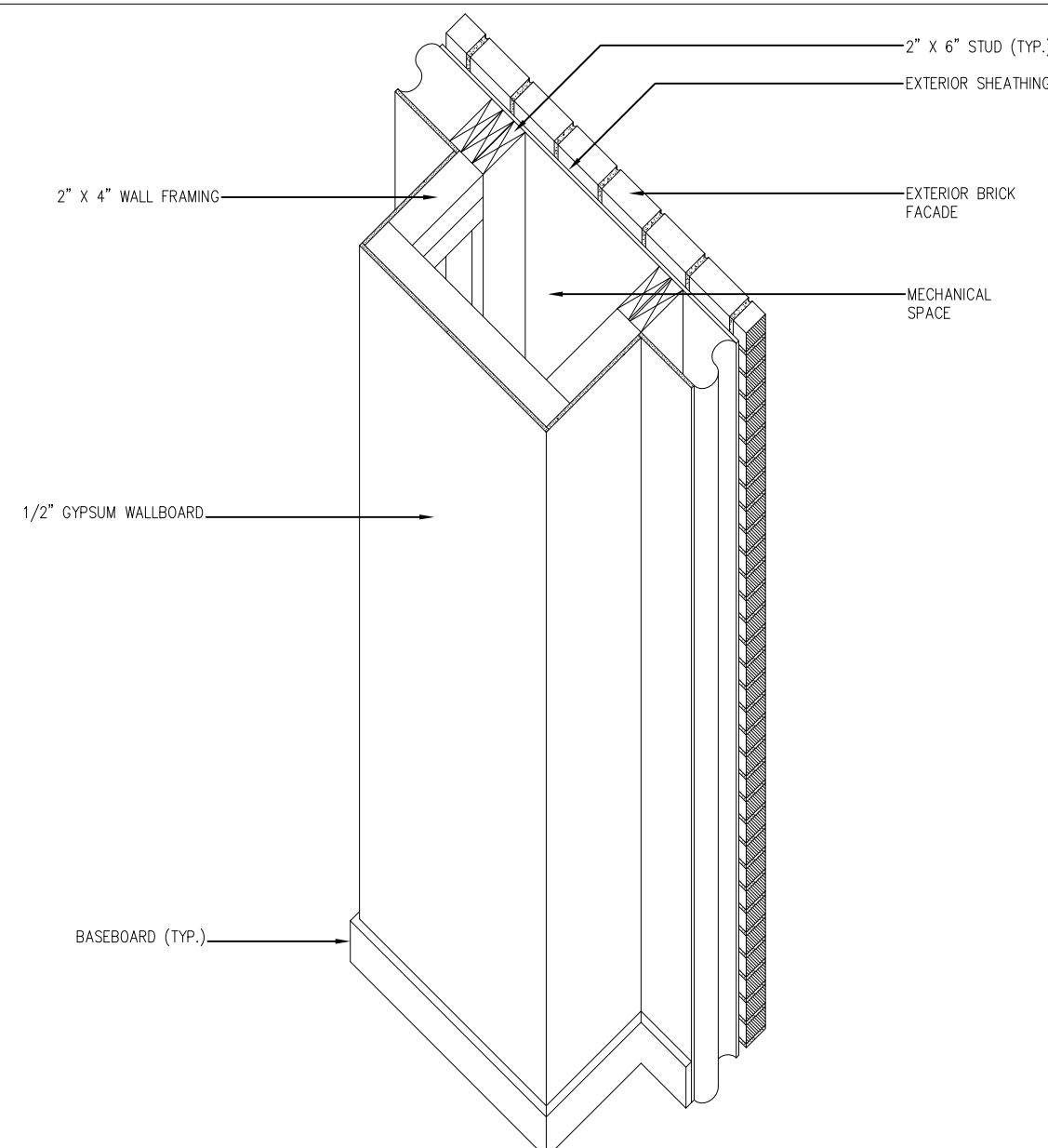
4 PONY WALL



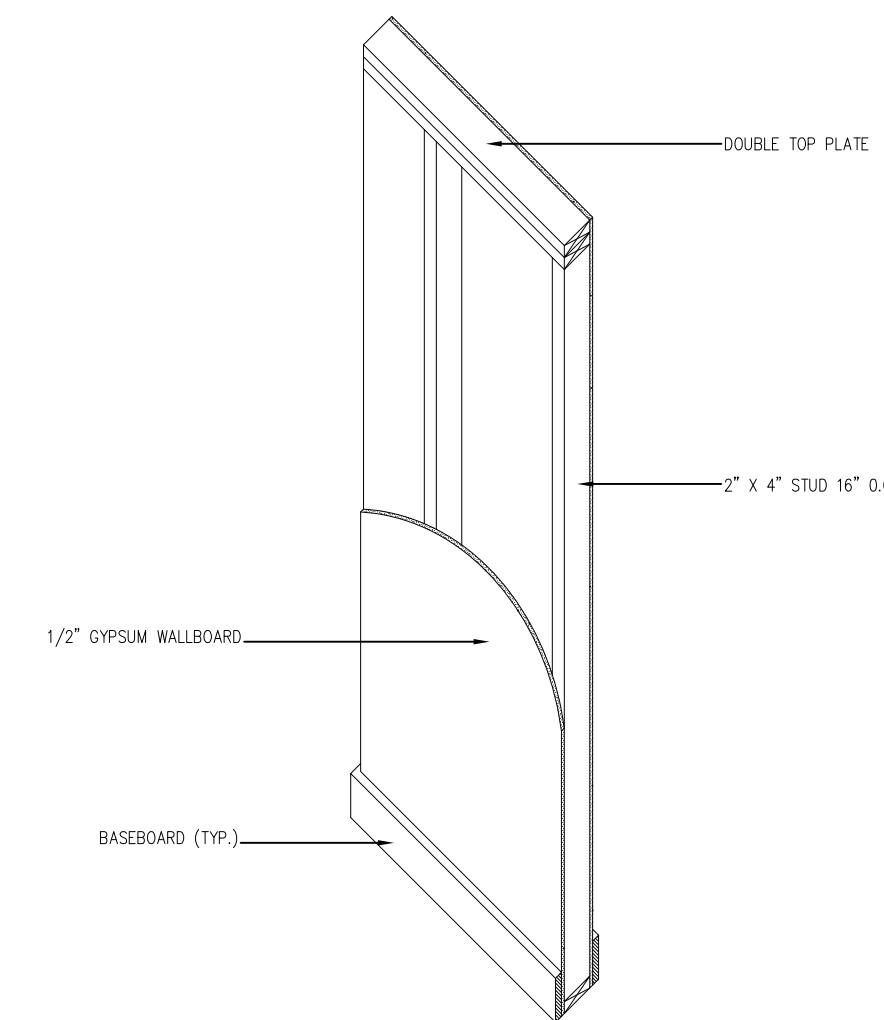
5 INTERIOR PONY WALL



6 INTERIOR POCKET DOOR WALL

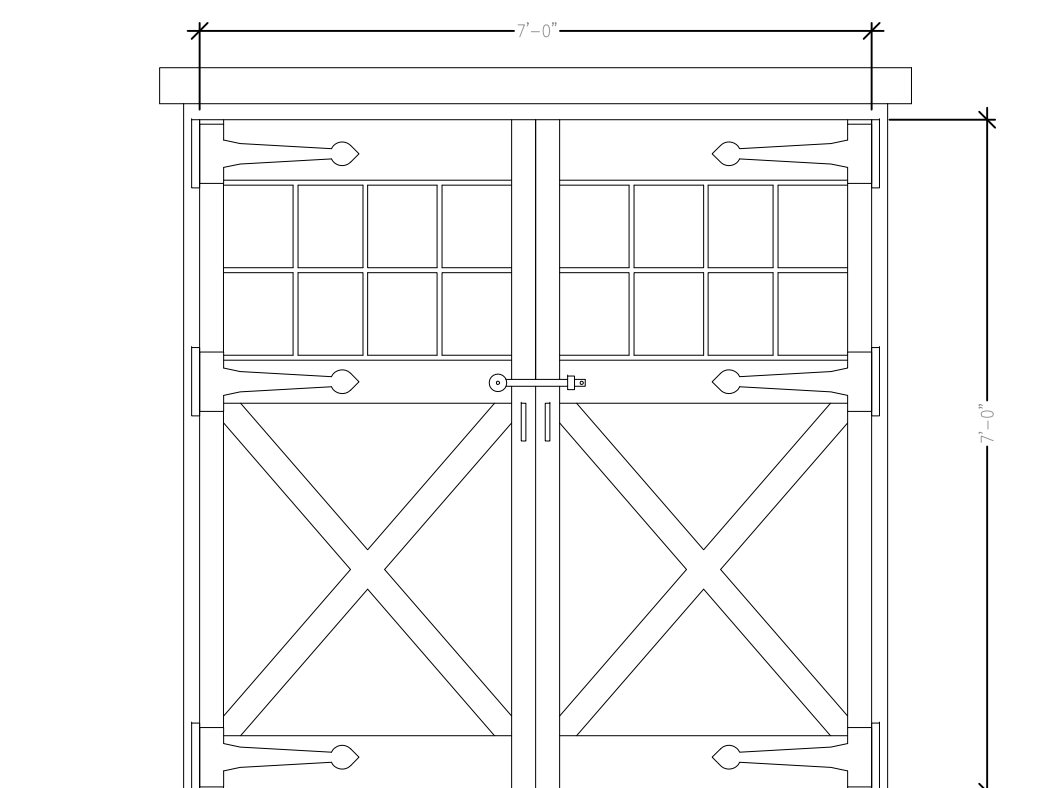


7 INTERIOR CHASE PARTITION



8 INTERIOR PARTITION WALL

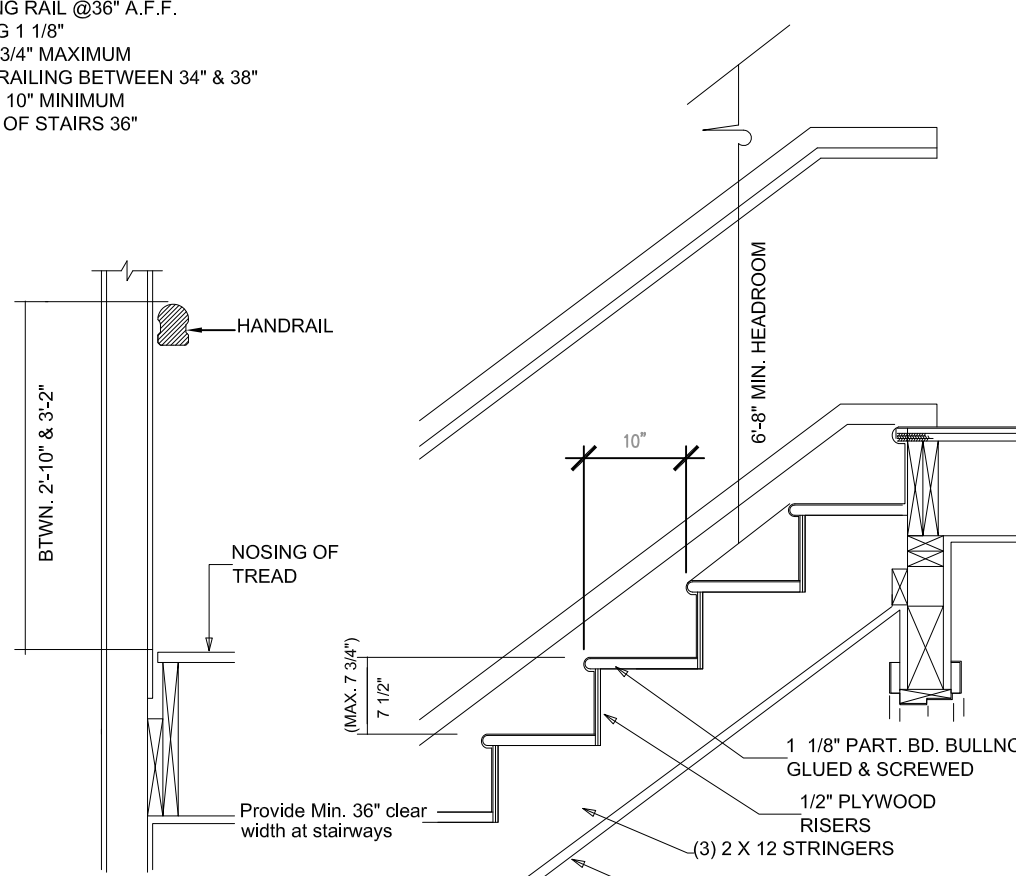
EXTERIOR CARRIAGE DOOR BY OTHERS
SPECIFICATION: (2) 3'-6" X 7'-0" SOLID CORE
PANELED DOORS W/ 8 LITES, ASTRAGAL &
CARRIAGE HARDWARE



1 CARRIAGE DOORS

MINIMUM REQUIREMENTS
CLEARANCE ABOVE NOSING 6" MIN.
LANDING LENGTH & WIDTH EQUAL TO STAIR WIDTH
LANDING RAIL @ 36" A.F.F.
NOSING 1 1/8"
RISE 7 3/4" MAXIMUM
STAIR RAILING BETWEEN 34" & 38"
TREAD 10" MINIMUM
WIDTH OF STAIRS 36"

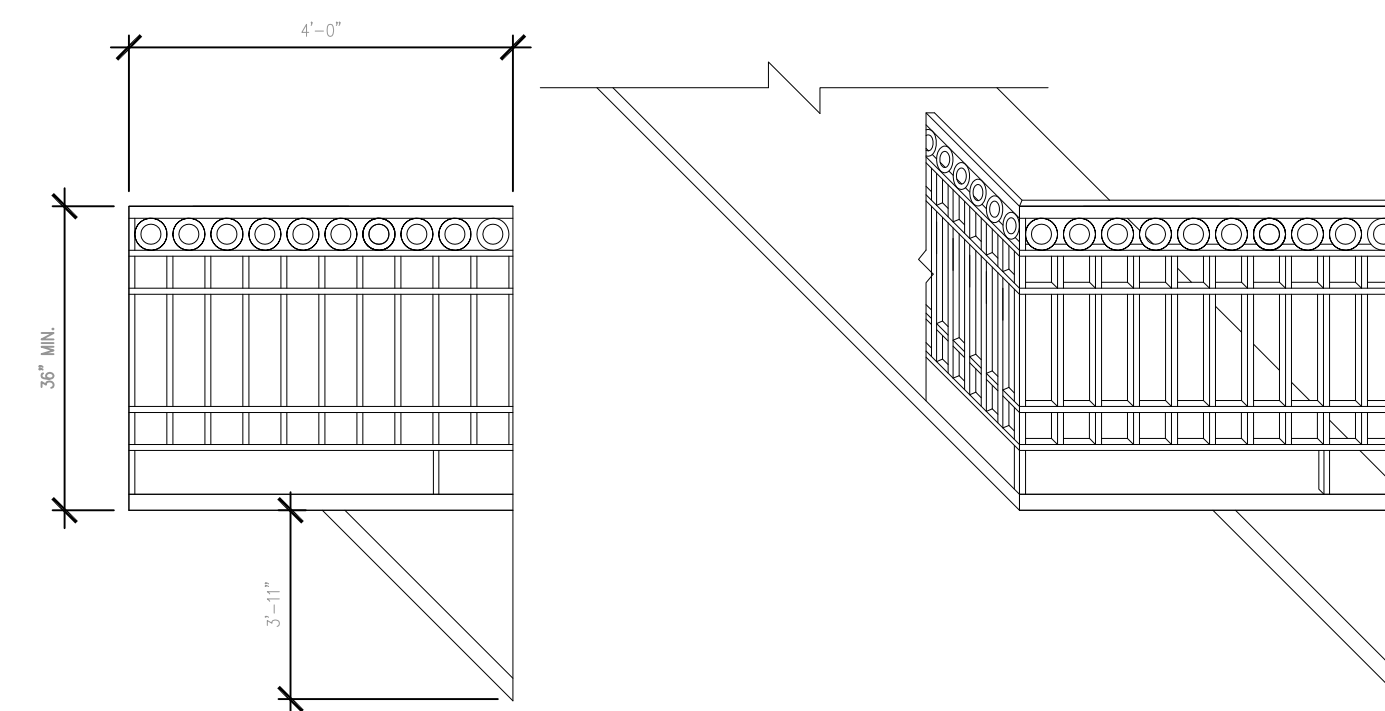
NOTE ON WINDER STEPS
TREAD DEPTH OF 10" MUST BE MAINTAINED
@ 12" OUT FROM WALL ON ALL WINDER STEPS



2 STAIR DETAIL

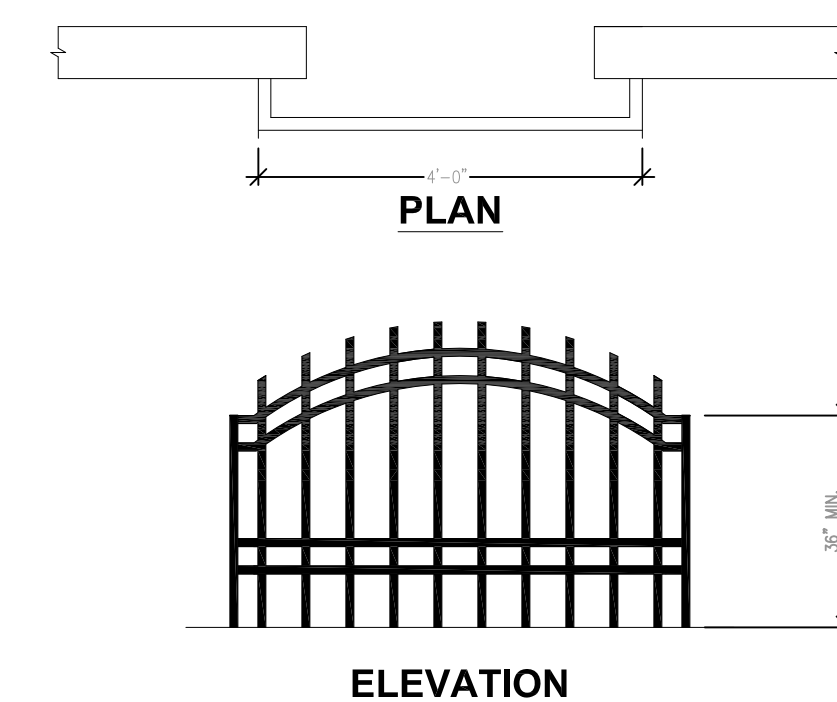
PREFABRICATED BALCONY
BALCONY BY OTHERS:
INNOTECH MANUFACTURING, LLC
STEEL MESH CONSTRUCTION
KNEE BRACED
STEEL RAILING
MODULAR 4' DESIGN - 4 SECTIONS

NOTE:
STRUCTURAL ENGINEERING
BY MANUFACTURER, INCLUDING
STRUCTURE AND ATTACHMENT
TO BUILDING



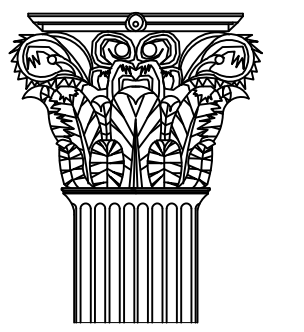
3 2ND FLOOR BALCONY

PREFABRICATED FAUX BALCONY
FAUX BALCONY BY OTHERS:
INNOTECH MANUFACTURING, LLC
STEEL MESH CONSTRUCTION
DIRECT ATTACHMENT
STEEL RAILING
MODULAR 4' DESIGN - 1 SECTION



4 3RD FLOOR FAUX BALCONY

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OWNER / BUILDER

DATE: 10/15/2013

SCALE: N.T.S.

PROJECT: SENIUK RESIDENCE

DRAWN BY: SRH REVISION: 2.01

DRAWING TITLE: DETAILS

DRAWING NUMBER:

A-5.0

FINISH SCHEDULES							
ROOM NO.	ROOM NAME	FLOOR FINISH	WALL FINISH	TRIM	CEILING FINISH	CEILING HEIGHT	COMMENTS
101	ENTRANCE HALLWAY	URETHANE	PAINT	BASE & CEILING	DRYWALL	8'-0"	R.L. COLSTON UTILITY OAK FLOORING 3/4" X 2 1/4" RANDOM LENGTH
102	ENTRY CLOSET	URETHANE	PAINT	BASE & CEILING	DRYWALL	8'-0"	R.L. COLSTON UTILITY OAK FLOORING 3/4" X 2 1/4" RANDOM LENGTH
103	PARLOR	URETHANE	PAINT	BASE & CEILING	OPEN BEAM	8'-0"	R.L. COLSTON UTILITY OAK FLOORING 3/4" X 2 1/4" RANDOM LENGTH
104	KITCHEN	URETHANE	PAINT & TILE	BASE & CEILING	OPEN BEAM	8'-0"	R.L. COLSTON UTILITY OAK FLOORING 3/4" X 2 1/4" RANDOM LENGTH
105	PANTRY	URETHANE	PAINT	BASE & CEILING	OPEN BEAM	8'-0"	R.L. COLSTON UTILITY OAK FLOORING 3/4" X 2 1/4" RANDOM LENGTH
106	BATHROOM	CERAMIC TILE	PAINT & TILE	BASE & CEILING	DRYWALL	8'-0"	CERAMIC TILE BY OWNER
107	PATIO	BRICK	GLAZED	N/A	N/A	6'-0"	PAVERS BY OWNER LAID IN SAND
108	STAIRWELL	URETHANE	PAINT	BASE & CEILING	DRYWALL	8'-0"	R.L. COLSTON UTILITY OAK FLOORING 3/4" X 2 1/4" RANDOM LENGTH
201	STUDIO	URETHANE	PAINT	BASE & CEILING	DRYWALL	8'-0"	R.L. COLSTON UTILITY OAK FLOORING 3/4" X 2 1/4" RANDOM LENGTH
202	UTILITY	VCT TILE	PAINT & TILE	BASE & CEILING	DRYWALL	8'-0"	VCT TILE BY OWNER
203	CLOSET	URETHANE	PAINT	BASE & CEILING	DRYWALL	8'-0"	R.L. COLSTON UTILITY OAK FLOORING 3/4" X 2 1/4" RANDOM LENGTH
204	BEDROOM	URETHANE	PAINT	BASE & CEILING	OPEN BEAM	8'-0"	R.L. COLSTON UTILITY OAK FLOORING 3/4" X 2 1/4" RANDOM LENGTH
205	BATHROOM	CERAMIC TILE	PAINT & TILE	BASE & CEILING	DRYWALL	8'-0"	CERAMIC TILE BY OWNER
206	BALCONY	METAL	METAL	N/A	N/A	3'-0"	PREFINISHED MODULAR BALCONY BY OTHERS
207	STAIRWELL	URETHANE	PAINT	BASE & CEILING	DRYWALL	8'-0"	R.L. COLSTON UTILITY OAK FLOORING 3/4" X 2 1/4" RANDOM LENGTH
301	STORAGE LOFT	URETHANE	PAINT	BASE & CEILING	DRYWALL	8'-0"	R.L. COLSTON UTILITY OAK FLOORING 3/4" X 2 1/4" RANDOM LENGTH
302	BATHROOM	CERAMIC TILE	PAINT & TILE	BASE & CEILING	DRYWALL	8'-0"	CERAMIC TILE BY OWNER
303	FURNACE ROOM	VCT TILE	PAINT	BASE & CEILING	DRYWALL	8'-0"	VCT TILE BY OWNER
304	HALLWAY	URETHANE	PAINT	BASE & CEILING	DRYWALL	8'-0"	R.L. COLSTON UTILITY OAK FLOORING 3/4" X 2 1/4" RANDOM LENGTH

DOOR SCHEDULE							
SYMBOLS	DESCRIPTION	TYPE	WIDTH	HEIGHT	HARDWARE	COUNT	COMMENTS
(101)	CARRIAGE DOORS	SC W/ 8 LITE GLAZING	3'-6"	7'-0"	BLACK STRAP IRON HINGES & CLASPS	2	EXTERIOR DOORS BY OTHERS
(102) (106) (206) (301)	CUSTOM FRONT DOOR	SC W/ 8 LITE GLAZING	3'-0"	7'-0"	BLACK STRAP IRON HINGES & CLASPS	4	EXTERIOR DOORS BY OTHERS
(103)	LOUVERED BIFOLD DOOR	SC - WOOD	2'-6", 3'-0"	6'-8"	BRUSHED BRONZE PASSAGE	2	NATURAL WOOD FINISH
(104)	SIX PANEL-POCKET	SC - WOOD	3'-0"	6'-8"	BRUSHED BRONZE PASSAGE	1	NATURAL WOOD FINISH
(105) (106) (205)	POCKET DOOR	SC - WOOD	2'-6"	6'-8"	BRUSHED BRONZE PRIVACY	4	NATURAL WOOD FINISH
(201) (204) (305)	SIX PANEL	SC - WOOD	3'-0"	6'-8"	BRUSHED BRONZE PRIVACY (1) LOCKSET (1)	2	NATURAL WOOD FINISH
(202)	LOUVERED BIFOLD DOOR	SC - WOOD	2'-6"	6'-8"	BRUSHED BRONZE PASSAGE	1	NATURAL WOOD FINISH
(203)	LOUVERED DOORS	SC - WOOD	2'-6"	6'-8"	BRUSHED BRONZE PASSAGE	2	NATURAL WOOD FINISH
(207)	LOUVERED BIFOLD DOOR	SC - WOOD	2'-6"	6'-8"	BRUSHED BRONZE PASSAGE		NATURAL WOOD FINISH

WINDOW SCHEDULE							
SYMBOLS	DESCRIPTION	TYPE	WIDTH	HEIGHT	FRAME	COUNT	COMMENTS
(301)	SINGLE HUNG	METAL CLAD	2'-6"	4'-0"	BRUSHED BRONZE	11	LOW E DOUBLE GLAZED W/ WEATHER SEAL

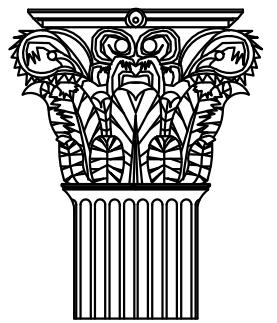
PAINT SCHEDULE			
ROOM NO.	COLOR	DESCRIPTION	COMMENTS
101	ANTIQUE WHITE	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS SW6119
102	ANTIQUE WHITE	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS SW6119
103	COLOR BY OWNER	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS
104	COLOR BY OWNER	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS
105	ANTIQUE WHITE	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS SW6119
106	COLOR BY OWNER	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS
107	N/A	N/A	N/A
108	ANTIQUE WHITE	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS SW6119
201	ANTIQUE WHITE	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS SW6119
202	ANTIQUE WHITE	SEMI-GLOSS ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS SW6119
203	ANTIQUE WHITE	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS SW6119
204	COLOR BY OWNER	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS
205	COLOR BY OWNER	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS
206	PREFINISHED BLACK	BAKED ENAMEL	BY OTHERS
207	ANTIQUE WHITE	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS SW6119
301	ANTIQUE WHITE	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS SW6119
302	COLOR BY OWNER	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS
303	ANTIQUE WHITE	SEMI-GLOSS ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS SW6119
304	COLOR BY OWNER	SATIN ON WALLS SEMI-GLOSS ON TRIM	SHERWIN WILLIAMS

TRIM SCHEDULE				
ROOM TYPE	DESCRIPTION	BASE	CEILING	COMMENTS
BATH	BATHROOMS	CERAMIC	WOOD	4" CERAMIC BASE COVE TO MATCH WALL TILE
UTILITY	UTILITY, FURNACE	VCT	WOOD	4" VCT 1" X 2" WOOD CEILING
OTHER	ALL OTHER ROOMS	WOOD	WOOD	1"X6" WOOD BASE 1" X 2" WOOD CEILING

NOTES:

- CABINET FINISH TO BE RESPONSIBILITY OF OWNER.
- PRIME ALL SURFACES PRIOR TO APPLYING FINAL PAINT FINISH.
- ALL SURFACES RECEIVE A FINISH UNLESS NOTED OTHERWISE.
- EXPOSED CONCRETE FLOOR TO RECEIVE 2 COATS OF SEALER.
- PAINT ALL GRILLS, VENTS, PIPING & ETC. TO MATCH ADJACENT FINISH.
- PROVIDE CORNER GUARDS ON ALL EXTERIOR CORNERS.
- ALL EXPOSED MECHANICAL EQUIPMENT TO BE PRIMED AND PAINTED WITH #5205 GRAY METAL PRIMER IF NOT PREFINISHED.
- DOOR FRAMES & TRIM SHALL BE PAINTED WITH SEMIGLOSS ENAMEL

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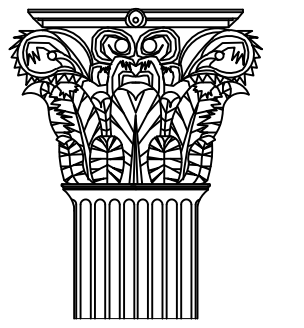
PROJECT:
SENIUK
RESIDENCE

DRAWN BY: SRH REVISION: 2.01

DRAWING TITLE:
WINDOW, DOOR & FINISH
SCHEDULES

DRAWING NUMBER:

A-6.0



DATE: 10/15/2013

SCALE: 1/2" = 1'-0"

PROJECT: SENIUK RESIDENCE

DRAWN BY: SRH REVISION: 2.01

DRAWING TITLE: ELECTRIC PLAN

DRAWING NUMBER:

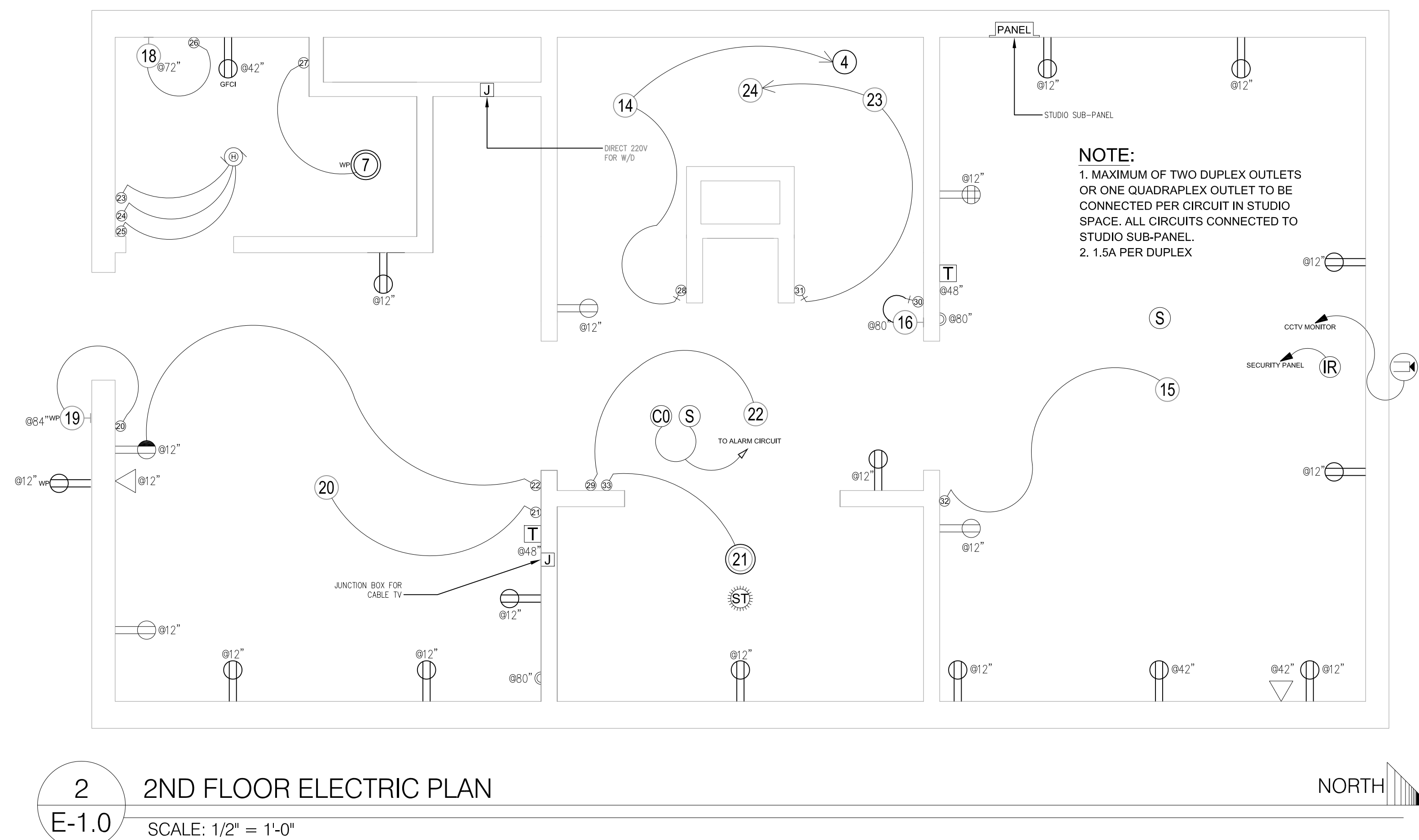
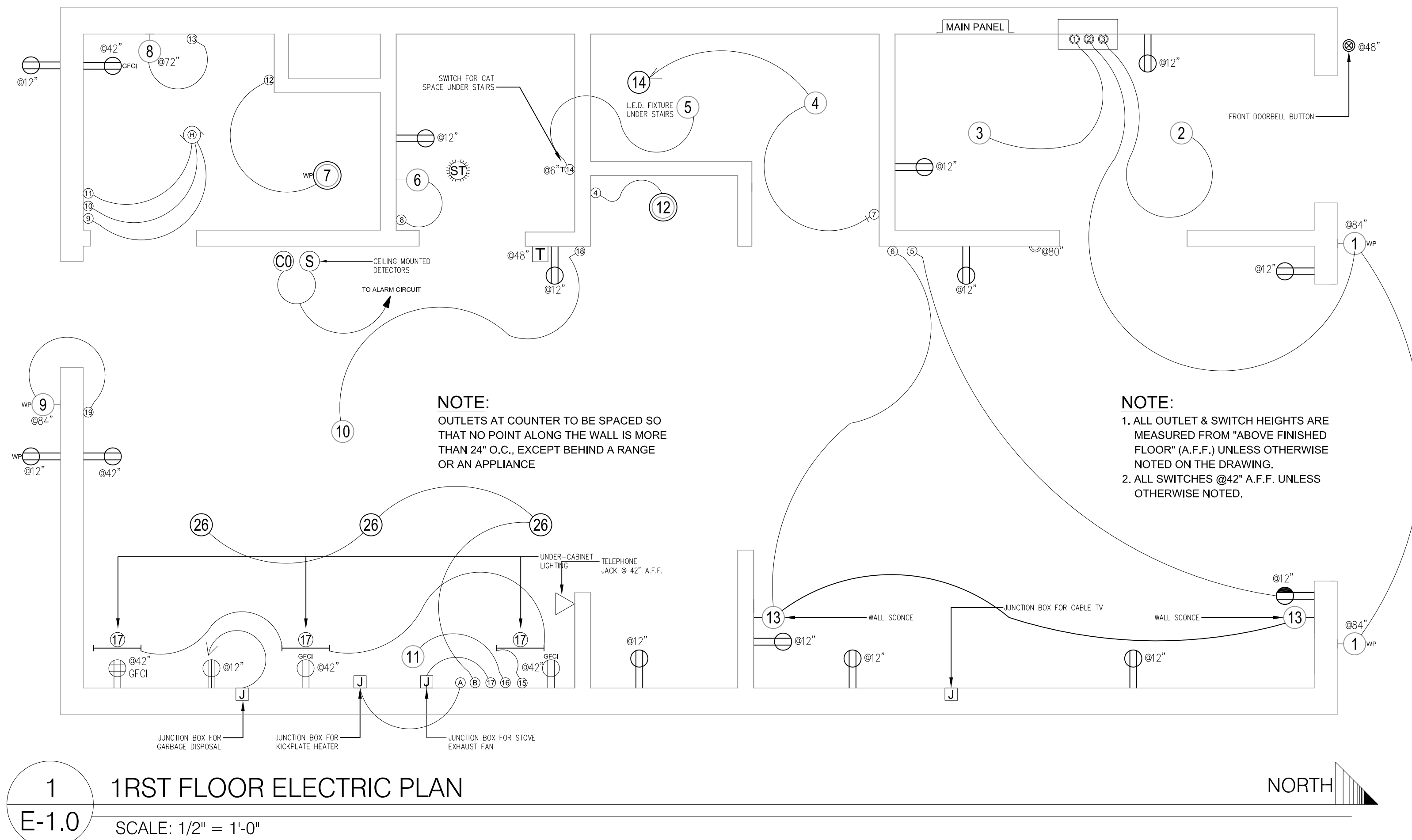
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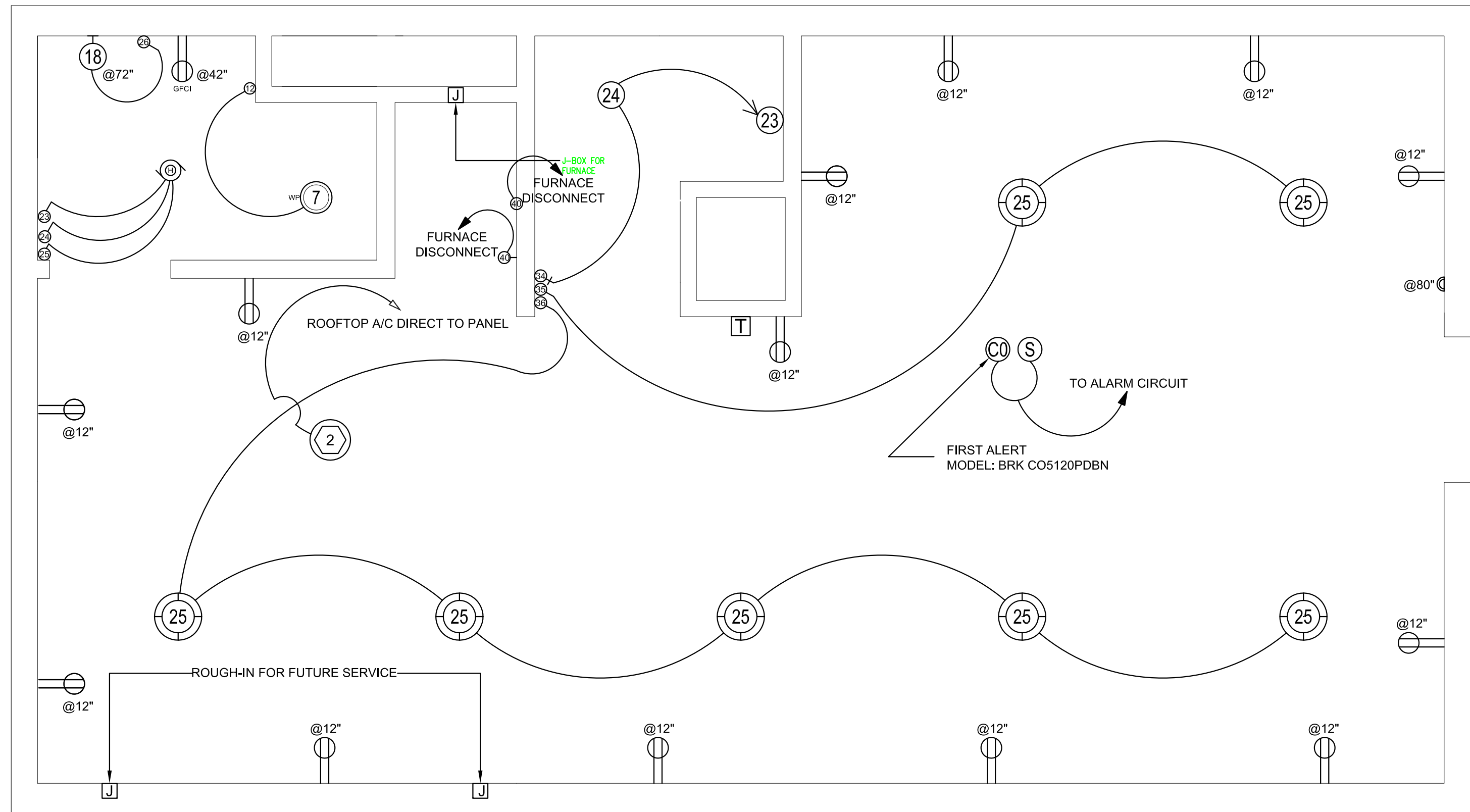
ELECTRIC SYMBOLS

	SWITCHING RUN		CEILING FAN
	HOME RUN		CIRCUIT BREAKER BOX - PANEL
	MOTION DETECTOR		JUNCTION BOX
	SINGLE LAMP FLUOR. FIXTURE		TELEPHONE OUTLET
	DOUBLE LAMP FLUOR. FIXTURE		PERMANENTLY CONNECTED EQUIP.
	WALL MOUNTED FLUOR. FIXTURE		FLOOD LIGHT
	WALL MOUNTED LIGHT FIXTURE		LOW VOLTAGE LIGHTING
	CEILING LIGHT FIXTURE		GLOBE TYPE CCTV CAMERA
	SWITCH, SINGLE POLE		SOLATUBE
	SWITCH, THREE WAY		DUPLEX OUTLET
	ANNUNCIATOR		GFCI DUPLEX OUTLET
	ILLUMINATED PUSH BUTTON		SWITCHED DUPLEX OUTLET
	DIMMER/FAN CONTROL		220V OUTLET
	SWITCHES GROUPED IN ONE PLATE		WATERPROOF DUPLEX OUTLET
	THERMOSTAT		QUADRAPLEX OUTLET
	RECESSED FLUORESCENT FIXTURE		CEILING LIGHT, VENT & HEATER
	SMOKE DETECTOR		VENT
	CO DETECTOR		WATERPROOF LIGHT FIXTURE

ELECTRIC NOTES

- CONTRACTOR SHALL VERIFY ON SITE ALL CONDITIONS AND MEASUREMENTS SHOWN ON THE DRAWINGS.
- WHEREVER THE INSTALLATION OF ELECTRICAL EQUIPMENT AS SHOWN ON THE DRAWINGS IS IMPRACTICAL FOR ANY REASONS, THE CONTRACTOR SHALL INSTALL THE EQUIPMENT AT NEW LOCATIONS IN ACCORDANCE TO CODE.
- ALL BOLTS SHALL HAVE LOCK WASHERS AND ELASTIC STOP NUTS.
- ALL CONDUITS SHALL BE SIZED IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE.
- ALL ELECTRICAL EQUIPMENT SHALL BE GROUNDED AS PER NATIONAL ELECTRICAL CODE AND THE SPECIFICATIONS. THE GROUND RESISTANCE SHALL NOT EXCEED 10 OHMS.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF LIGHTING FIXTURES, RECEPTACLES, DISCONNECT SWITCHES, AND SWITCHES WITH THE INSTALLATION OF OTHER EQUIPMENT.
- ELECTRICAL WORK SHOWN AS CONCEALED OR FLUSH SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR PRIOR TO POURING OF CONCRETE OR INSTALLATION OF OTHER EQUIPMENT OR MATERIALS.
- LIGHTING CONTROL SWITCHES SHALL BE MOUNTED 4'0" O.C. & A.F.F. NEAR STRIKE PLATE OF DOOR REGARDLESS OF SWITCH POSITION SHOWN.
- THE LAYOUTS SHOWN ON DRAWINGS ARE ONLY SCHEMATIC. CONTRACTOR SHALL SUBMIT FOR APPROVAL SHOP DRAWINGS SHOWING THE DETAILS OF THE METHOD OF INSTALLATION AND MOUNTING OF ALL PANELBOARDS, CABLE TROUGHS, INDOOR AND OUTDOOR LIGHTING FIXTURES, CONDUITS, AND CONDUIT RUNS TO PANELBOARDS.
- ALL CONDUITS SHALL CONTAIN AN INDEPENDENT GROUND WIRE. WHETHER SPECIFICALLY SHOWN OR NOT ON THE INDIVIDUAL DRAWINGS. WIRES SHALL BE SIZED AS PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- ALL 20 AMP RECEPTACLES SHALL HAVE A ONE-PIECE SOLID BRASS MOUNTING STRAP WITH INTEGRAL GROUND CONTACTS (NO RIVETS) TO ASSURE LOWEST RESISTANCE GROUNDING PATH.
- LOCATION OF SWITCHES, BOXES, AND CONDUITS PROVIDING POWER FOR EQUIPMENT ARE APPROXIMATE, EXACT LOCATIONS ARE DEPENDENT UPON INSTALLATION OF EQUIPMENT.
- ALL FIXTURES SHALL BE PROVIDED WITH ALL ACCESSORIES FOR A COMPLETE INSTALLATION. THESE INCLUDE MOUNTING ACCESSORIES.
- ALL FLUORESCENT FIXTURES SHALL BE OF RAPID START TYPE WITH ELECTRONIC BALLASTS AND T-8 TYPE RAPID START LAMPS.
- ALL SECURITY DEVICES ASSOCIATED WITH THE INTRUSION ALARM SYSTEM ARE SUPPLIED AND INSTALLED BY THE SECURITY CONTRACTOR.
- A SEPARATE DEDICATED NEUTRAL WIRE SHALL BE PROVIDED AND INSTALLED FOR GFI RECEPTACLE CIRCUITS.
- INSTALL FISH WIRE IN ALL EMPTY CONDUITS.
- ALL RECEPTACLES MARKED ISOLATED GROUND TYPE SHALL HAVE AN ORANGE FACEPLATE AND BE ORANGE IN COLOR.





1 ATTIC ELECTRIC PLAN
 E-1.1 SCALE: 1/2" = 1'-0"

EQUIPMENT NOTES

THE CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE 24 VDC, ELECTRICALLY SUPERVISED, ANALOG ADDRESSABLE FIRE ALARM SYSTEM AS SPECIFIED HEREIN:

1. SYSTEM CABINET.
2. POWER SUPPLY.
3. ONE SLC LOOP, PLUS ONE OPTIONAL SLC LOOP.
4. 4 X 20 CHARACTER LCD ANNUNCIATOR.
5. DEDICATED LEDS DISPLAYS FOR FIRE ALARM, GAS ALARM, TROUBLE.
6. PROGRAMMING KEYPAD.
7. UP TO 254 DETECTORS/PULL STATIONS/MODULES PLUS 254 ANALOG SOUNDER BASES ENDING UP TO A TOTAL OF 508 ADDRESSABLE POINTS.
8. BUILT IN DUAL LINE DIGITAL COMMUNICATOR.
9. BUILT IN WEB SERVER FOR IP COMMUNICATION FOR ALARM TRANSMITTING WITH FULL SINGLE, DOUBLE, AND BACKUP REPORTING AND PROGRAMMING.
10. ASSOCIATED PERIPHERAL DEVICES.
11. BATTERIES.
12. WIRING.
13. CONDUIT.

SMOKE DETECTOR SPECIFICATIONS
 DIMENSIONS: 6 1/2" DIAMETER X 2 5/8" H
 WEIGHT: 6 1/2 OUNCES
 HOUSING: WHITE PLASTIC
 OPERATING TEMP RANGE: 40°F TO 100°F (4°C TO 37°C)
 THE SMOKE DETECTOR WITH BUILT-IN RELAY UTILIZES A PHOTOELECTRIC SENSING METHOD AND IS DESIGNED FOR USE IN COMMERCIAL AND RESIDENTIAL APPLICATIONS. THE DEVICE REQUIRES HARD WIRED 120VAC 60HZ POWER (220VAC50 HZ OPTIONAL). THE DETECTOR FEATURES TWO SETS OF DRY ALARM CONTACTS: ONE FORM-A SPST AND ONE FORM-C SPDT. THE DETECTOR HASTANDEM INTERCONNECT CAPABILITY ALLOWING UP TO 6 DEVICES TO BE CONNECTED TOGETHER. A 90DBA AUDIBLE HORN IS INCLUDED. ALSO AVAILABLE WITH OPTIONAL BATTERY BACKUP OR IN 220V.
 SMOKE DETECTOR MODEL 120V W/BATTERY BACK-UP: FGD-0049-B

LIGHTING FIXTURE SCHEDULE

Access Lighting 11-in Brushed Steel Ceiling Flush Mount											
NO.	DESCRIPTION	VOLT	MOUNTING	NO. & LAMP	REMARKS	NO.	DESCRIPTION	VOLT	MOUNTING	NO. & LAMP	REMARKS
1	ACGALAXY COACH LIGHT 14" RUBBED BRONZE MODEL: 350836ORB	120V-1PH	EXTERIOR WALL	(2) 100W	WATERPROOF COACH LIGHT	15	ACCESS LIGHTING 11" BRONZE CEILING FLUSH MOUNT CAT. 2064-B/OPL	120V-1PH	SURFACE	(1) 100W	
2	ACCESS LIGHTING 11" BRONZE CEILING FLUSH MOUNT CAT. 2064-B/OPL	120V-1PH	SURFACE	(1) 100W		16	THOMAS LIGHTING 7" WHITE WALL LIGHT MODEL: SL94358	120V-1PH	WALL	(1) 60W	
3	HALO 6" NEW CONSTRUCTION IC RECESSED LIGHTING MODEL:H7-ICT	120V-1PH	RECESSED	(1) 60W		17	LEGRANDE TITANIUM 9.97" LIGHT BAR MODEL: ALLNLEDTM4	120V-1PH	UNDER-CABINET	(3) 20W	
4	ACCESS LIGHTING 11" BRONZE CEILING FLUSH MOUNT CAT. 2064-B/OPL	120V-1PH	SURFACE	(1) 100W		18	GALAXY 3 LIGHT NEWPORT BRONZE BATH VANITY LIGHT MODEL: 712823B	120V-1PH	WALL	(1) 120W	VANITY LIGHT BAR - 3 X 40W
5	GOOD EARTH FLEXOLIGHT 12' CLEAR ROPE LIGHT MODEL: G9512-CLR-1	120V-1PH	SURFACE	(1) 15W	L.E.D. ROPE LIGHT	19	ACGALAXY COACH LIGHT 14" RUBBED BRONZE MODEL: 350836ORB	120V-1PH	EXTERIOR WALL	(1) 100W YELLOW BULB	WATERPROOF COACH LIGHT
6	THOMAS LIGHTING 7" WHITE WALL LIGHT MODEL: SL94358	120V-1PH	WALL	(1) 60W		20	ACCESS LIGHTING 11" BRONZE CEILING FLUSH MOUNT CAT. 2064-B/OPL	120V-1PH	SURFACE	(1) 100W	
7	RECESSED LIGHT TRIM FOR 6" HALO FIXTURE MODEL: Y721S	120V-1PH	RECESSED	(3) 60W	WATERPROOF SHOWER LIGHT W/LIGHT SPEC #3 FIXTURE	21	HALO 6" NEW CONSTRUCTION IC RECESSED LIGHTING MODEL:H7-ICT	120V-1PH	RECESSED	(1) 60W	
8	GALAXY 3 LIGHT NEWPORT BRONZE BATH VANITY LIGHT MODEL: 712823B	120V-1PH	WALL	(1) 120W	VANITY LIGHT BAR - 3 X 40W	22	ACCESS LIGHTING 11" BRONZE CEILING FLUSH MOUNT CAT. 2064-B/OPL	120V-1PH	SURFACE	(1) 100W	
9	ACGALAXY COACH LIGHT 14" RUBBED BRONZE MODEL: 350836ORB	120V-1PH	EXTERIOR WALL	(1) 100W YELLOW BULB	WATERPROOF COACH LIGHT	23	ACCESS LIGHTING 11" BRONZE CEILING FLUSH MOUNT CAT. 2064-B/OPL	120V-1PH	SURFACE	(1) 100W	
10	CHECKOLITE INTERNATIONAL 2 LIGHT BRONZED COUNTRY KITCHEN MODEL: P1002-71	120V-1PH	SURFACE	(1) 200W	HANGING KITCHEN LIGHT 2 X 100W BULBS	24	ACCESS LIGHTING 11" BRONZE CEILING FLUSH MOUNT CAT. 2064-B/OPL	120V-1PH	SURFACE	(1) 100W	
11	INTEGRAL HOOD LIGHT SEE MANUF. HOOD SPEC	120V-1PH	HOOD LIGHT	(1) 40W	40W HEAT RESISTANT LAMP	25	HALO 6" NEW CONSTRUCTION IC RECESSED LIGHTING MODEL:H7-ICT	120V-1PH	RECESSED	(7) 60W	
12	HALO 6" NEW CONSTRUCTION IC RECESSED LIGHTING MODEL:H7-ICT	120V-1PH	RECESSED	(1) 60W	OWNER TO SPECIFY TRIM FINISH	26	PORTFOLIO 3-LIGHT INTEGRATED LED TRACK MODEL: 18305-000	120V-1PH	SURFACE	(3) 60W	AREA TRACK LIGHTING
13	W SHANDY 4 1/2" 2 LIGHT BRONZE ARM WALL SCONCE MODEL: LW24240232	120V-1PH	WALL	(2) 60W		27	1'X4' FLUORESCENT PARABOLIC LITHONIA CAT. NO. PM3 G B 2 32 8ND 120 GEB	120V-1PH	SURFACE	(2) F32T8/TL735	RAPID START BALLAST
14	ACCESS LIGHTING 11" BRONZE CEILING FLUSH MOUNT CAT. 2064-B/OPL	120V-1PH	SURFACE	(1) 100W							

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 OWNER / BUILDER

DATE: 10/15/2013

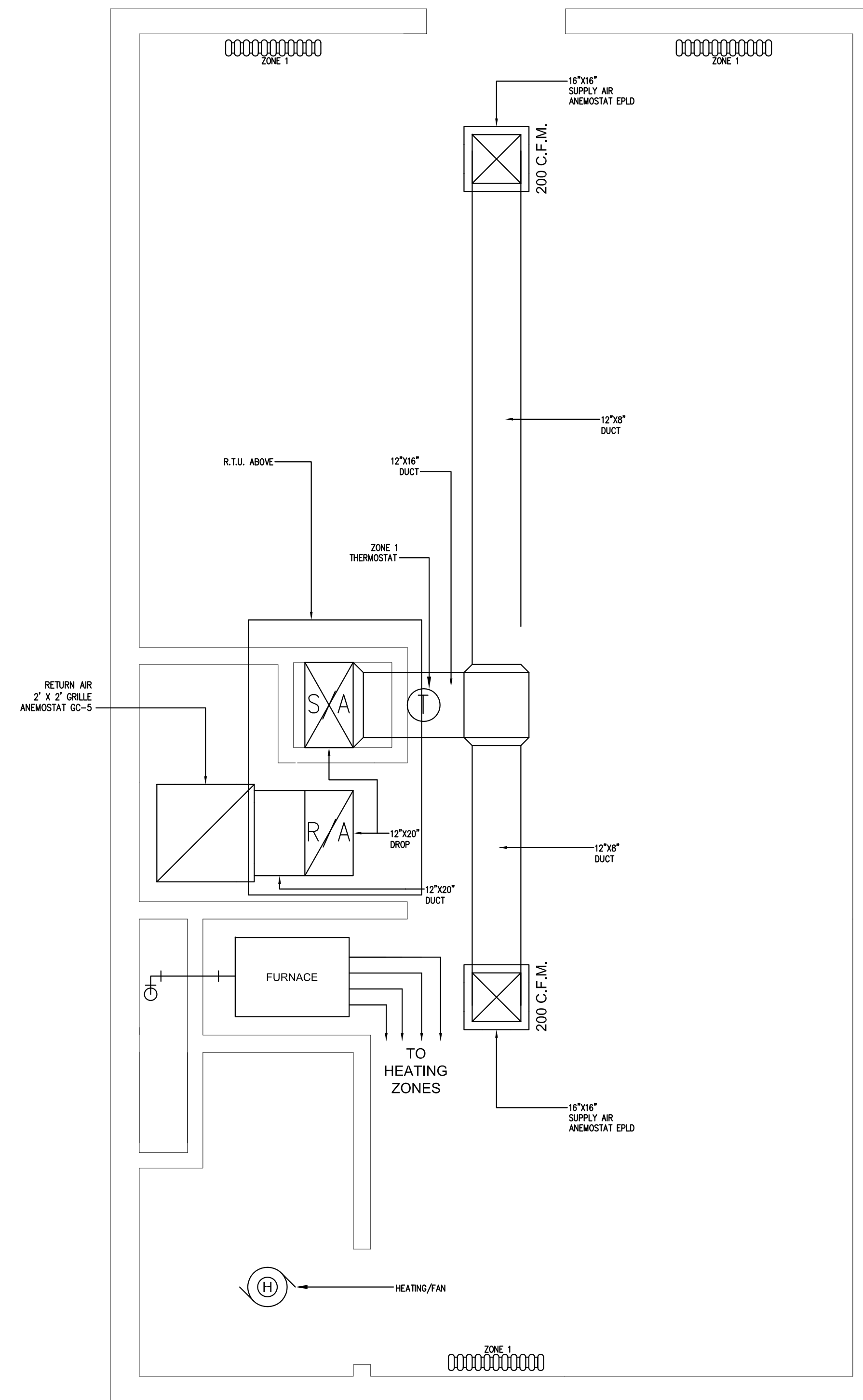
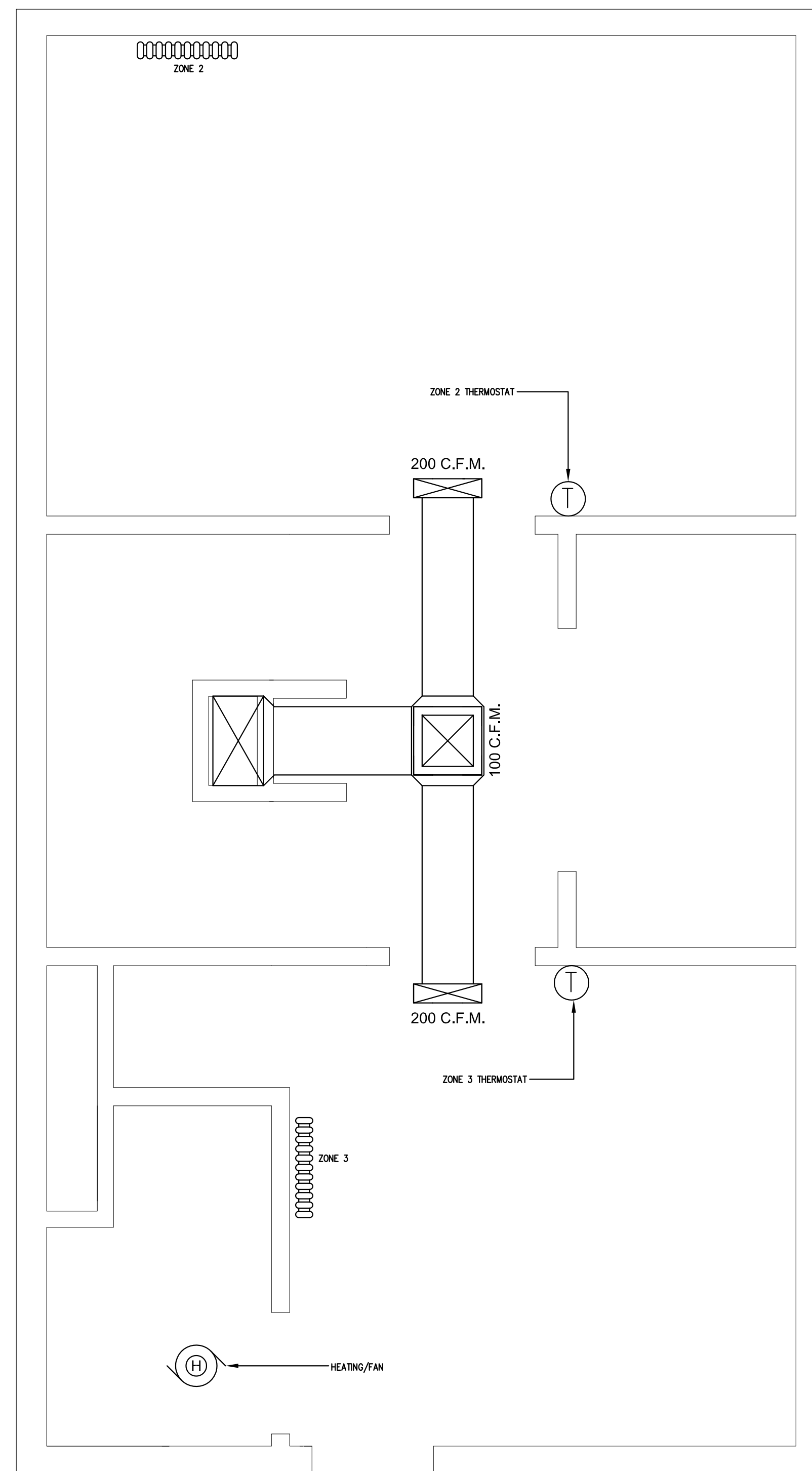
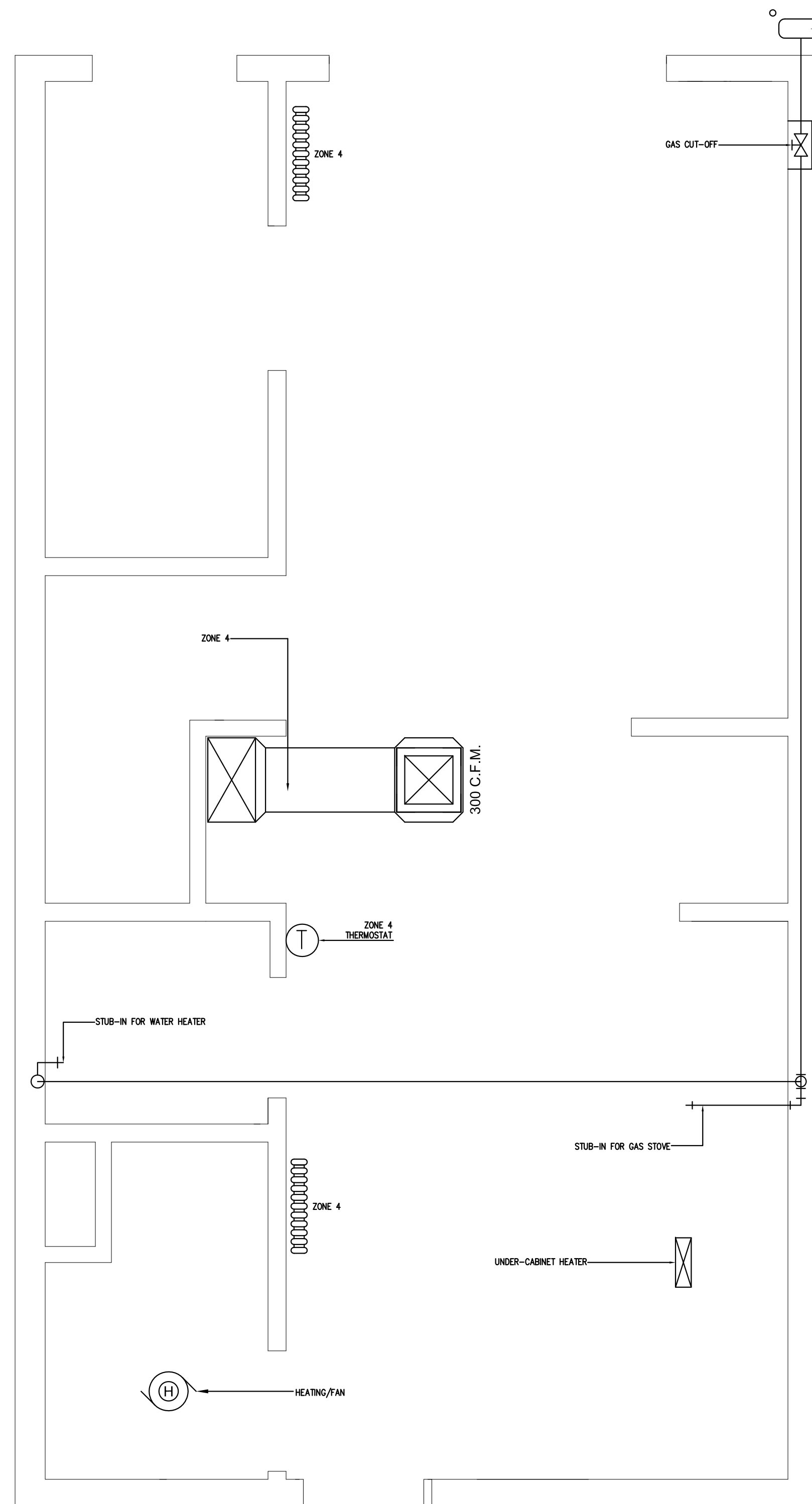
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PROJECT: SENIUK RESIDENCE

DRAWN BY: SRH REVISION: 2.01

DRAWING TITLE: ELECTRIC PLAN

DRAWING NUMBER: E-1.1



1 GROUND FLOOR HVAC PLAN
M-1.0 SCALE: 1/2" = 1'-0"

2 SECOND FLOOR HVAC PLAN
M-1.0 SCALE: 1/2" = 1'-0"

3 ATTIC HVAC PLAN
M-1.0 SCALE: 1/2" = 1'-0"

SPECIFICATIONS			NOTES
GAS RADIATOR SPECIFICATION	FURNACE SPECIFICATION	ROOFTOP UNIT SPECIFICATION	
<p>MANUFACTURER: JOTUL MODEL: GF 100 BF CATALOGUE NUMBER 350785 HEAT OUTPUT: 3.7 KW HEAT INPUT: 4.6 KW EFFICIENCY: 80% FUEL EFFECT: COAL/LOG GAS TYPE: NATURAL GAS FLUE OUTLET: REAR THERMOSTATIC REMOTE CONTROL MODEL: 350744</p>	<p>WEIL-MCLAIN OR EQUIV. BOILER MODEL ULTRA-80 HEATING CAPACITY: 71,000 BTUH CSA INPUT: 80,000 BTUH CSA OUTPUT: 71,000 BTUH NET I=B=R RATINGS: 62,000 BTUH BOILER WATER CONTENT: 0.69 GALLONS DOE SEASONAL EFFICIENCY: 93.0% AFUE LOW TEMPERATURE SEASONAL EFFICIENCY: 98.0% VENT SIZE: 3"</p>	<p>CARRIER WEATHER TECH OR EQUIV. MODEL 50HJD004 SINGLE PACKAGE ROOFTOP UNIT 3 TON NOMINAL 1200 CFM 36,000 BTUH NET COOLING 3.21 KW 649# TOTAL WGT. 208/230/1/60</p>	<ol style="list-style-type: none"> UNDERCUT ALL ROOM ENTRY DOORS 1" TO ALLOW FOR RETURN AIR DRYER DUCT TO BE ROUTED HORIZONTALLY THROUGH KITCHEN SOFFIT ABOVE WALL CABINETS THROUGH OUTSIDE WALL BATH EXHAUST FANS TO BE ROUTED TO OUTSIDE AIR AVOID ANY DUCTWORK ABOVE ELECTRICAL PANEL PROVIDE GRILL THROUGH WALL OF LAUNDRY ROOM FOR MAKE-UP AIR FOR ELECTRIC DRYER PROVIDE FIBERBOARD BAFFLE BEHIND SUPPLY GRILL IN 2ND FLOOR ROOMS TO AVOID EXCESSIVE NOISE PROVIDE VARIABLE DAMPER IN SUPPLY DUCTWORK AS REQUIRED HVAC CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR A/C AND BOILER SYSTEM, INCLUDING SPECIFICATIONS AND EFFICIENCY RATINGS ON RADIATORS

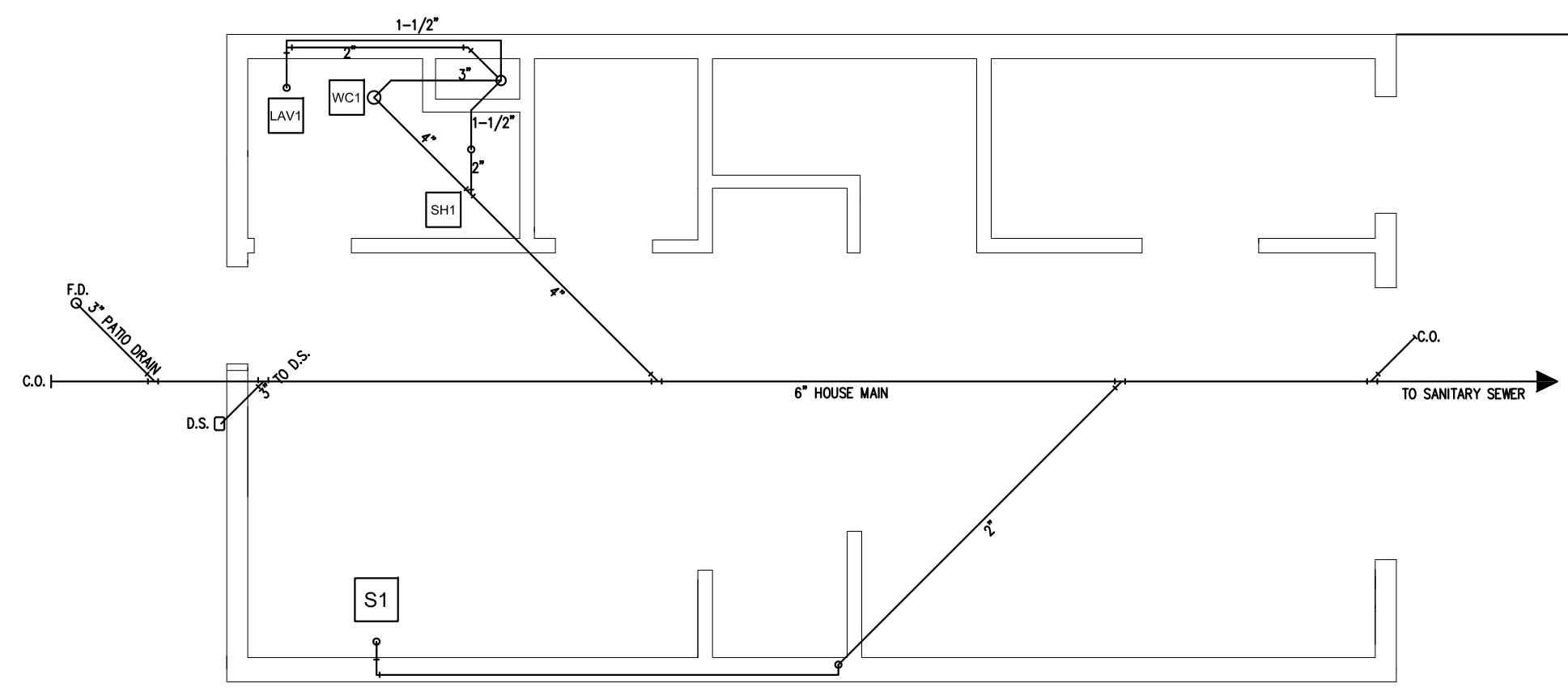
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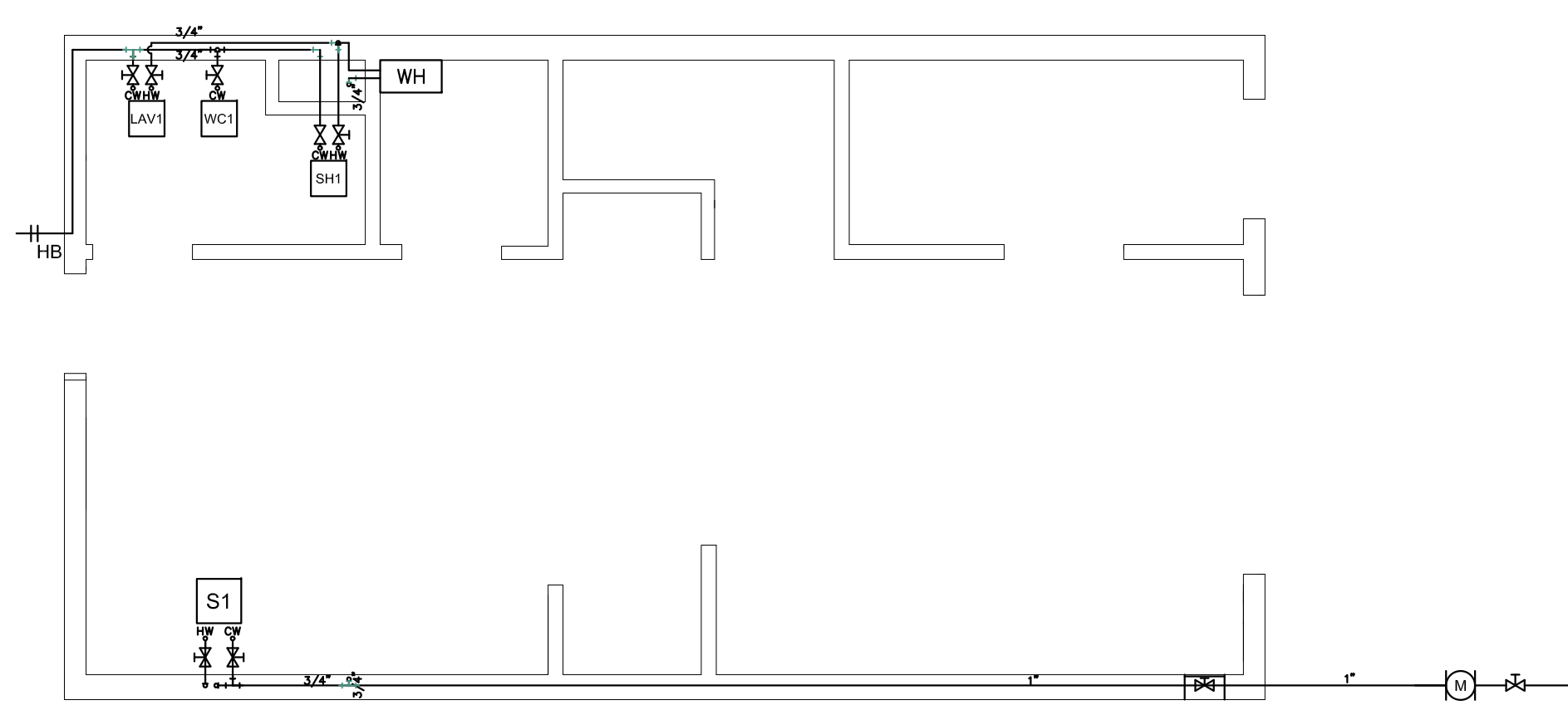
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SCALE: N.T.S.
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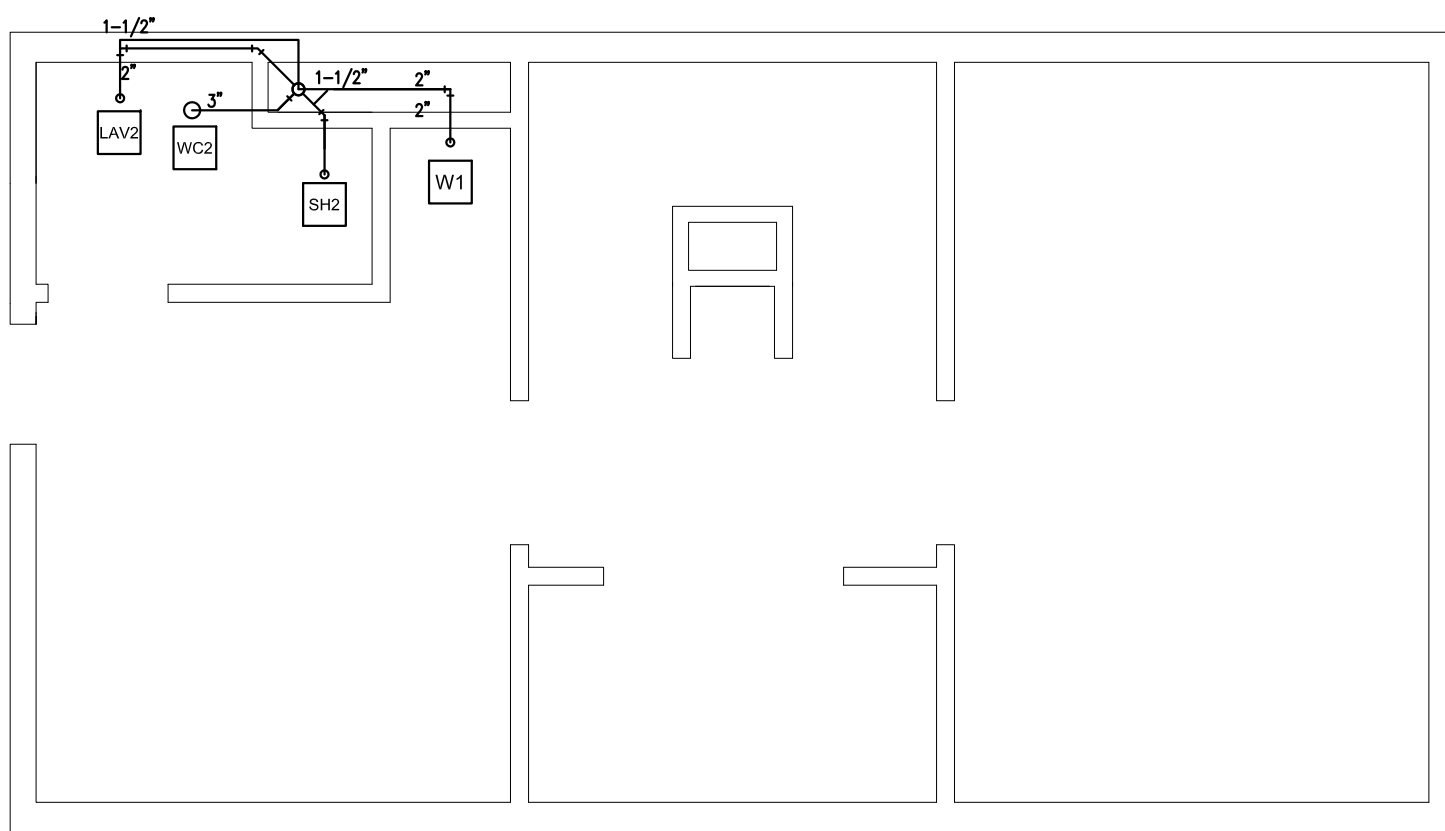
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DRAWING NUMBER: M-1.0



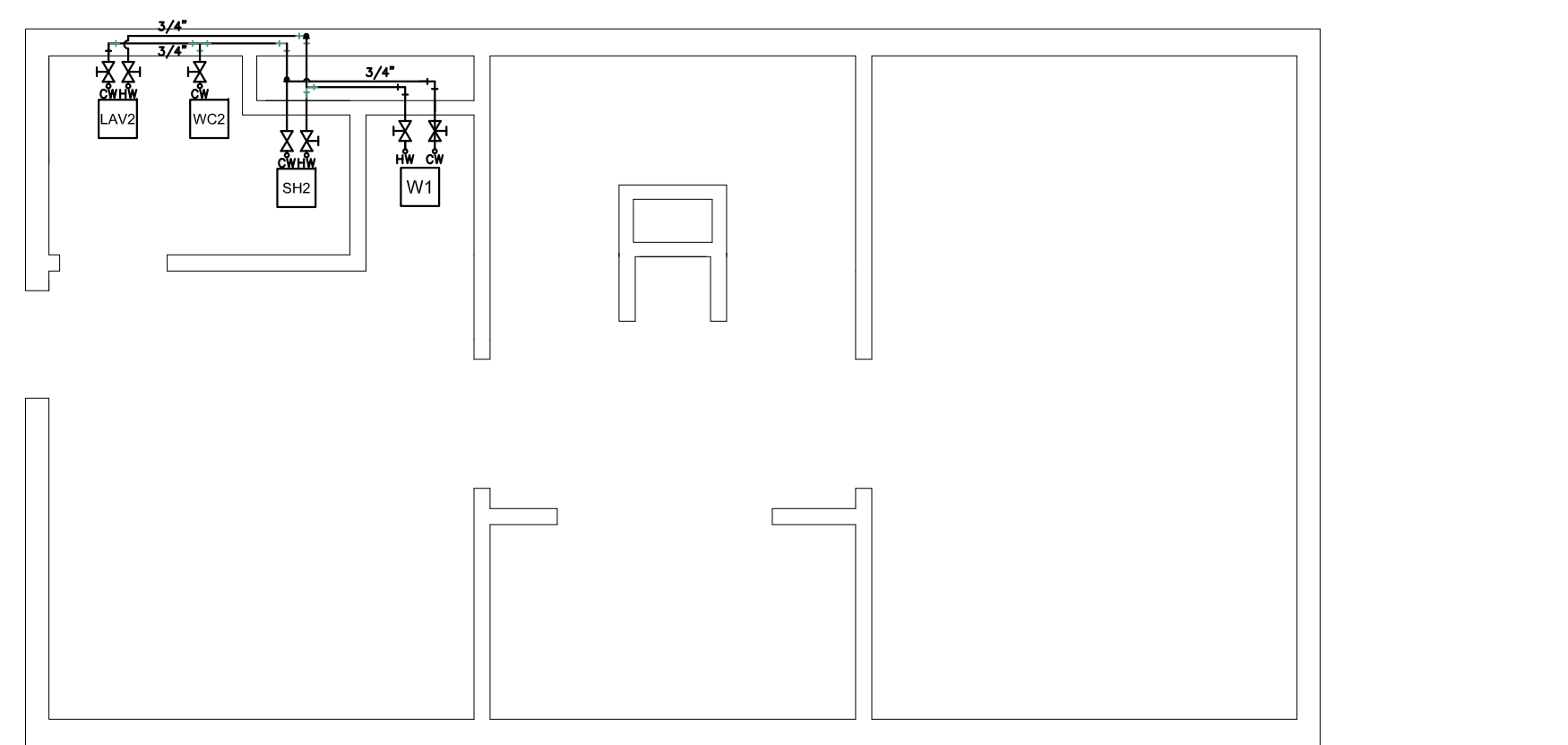
P
0.1 **FIRST FLOOR PLUMBING DRAIN PLAN** NORTH
SCALE: 1/4" = 1'-0"



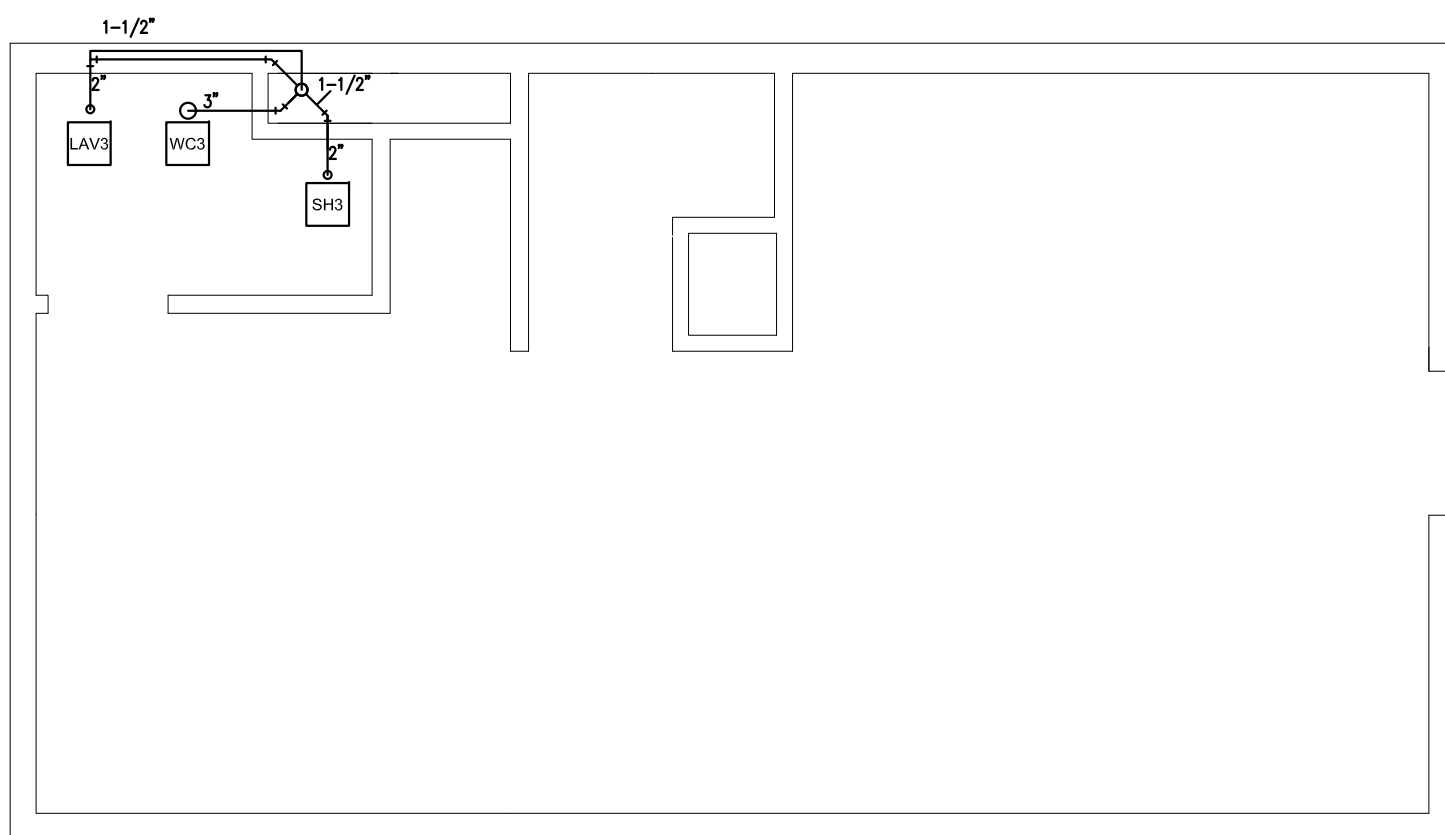
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0.4 **FIRST FLOOR PLUMBING SUPPLY PLAN** NORTH
SCALE: 1/4" = 1'-0"



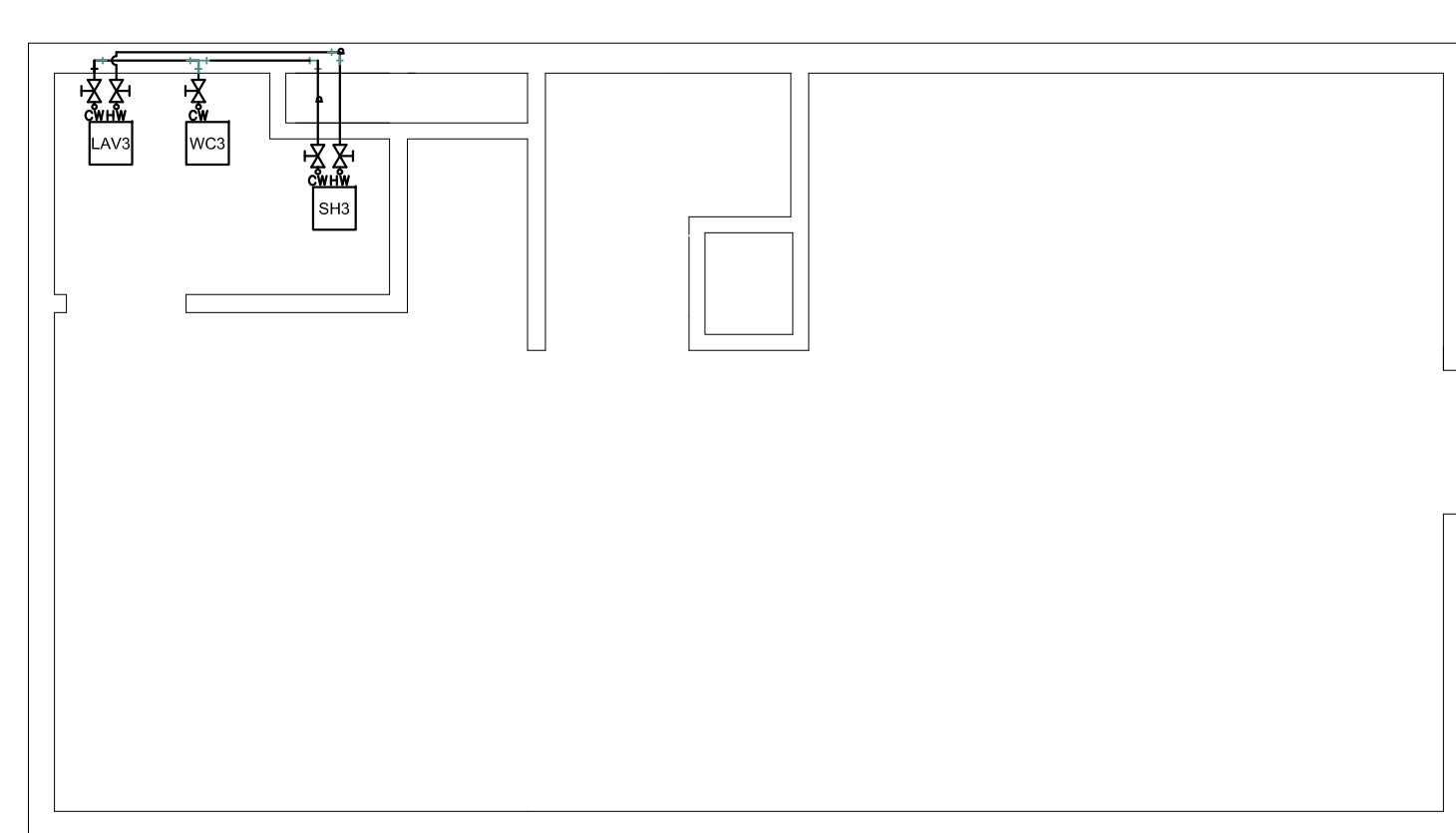
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0.2 **2ND FLOOR PLUMBING DRAIN PLAN** NORTH
SCALE: 1/4" = 1'-0"



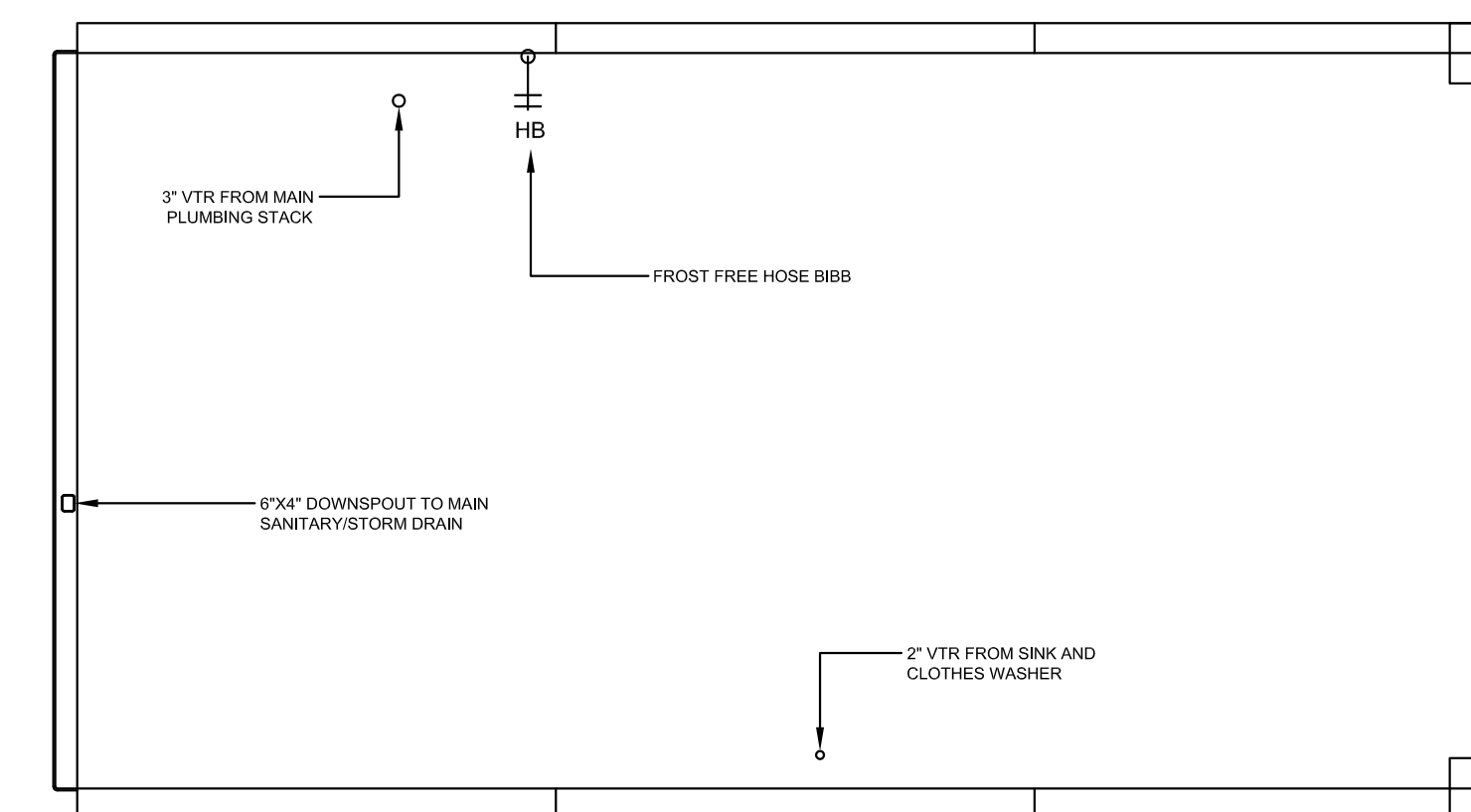
P
0.5 **2ND FLOOR PLUMBING SUPPLY PLAN** NORTH
SCALE: 1/4" = 1'-0"



P
0.3 **ATTIC PLUMBING DRAIN PLAN** NORTH
SCALE: 1/4" = 1'-0"



P
0.6 **ATTIC PLUMBING SUPPLY PLAN** NORTH
SCALE: 1/4" = 1'-0"



P
0.7 **ROOF PLUMBING PLAN** NORTH
SCALE: 1/4" = 1'-0"

PLUMBING SYMBOLS	
	WATER METER
	HOT WATER LINE
	COLD WATER LINE
	SANITARY LINE
	GAS LINE
	VENT LINE
	PIPE TURNS DOWN
	PIPE TURNS UP
	GATE VALVE / CUT-OFF
	UNION
	TEE
	CAP
	CLEAN OUT
	90 DEGREE ELBOWS
	45 DEGREE ELBOWS
	WATER HEATER CUT-OFF
	WATER HEATER
	VENT THROUGH ROOF
	FLOOR DRAIN
	HOSE BIBB, FROST FREE
	LAVATORY
	SINK
	WATER CLOSET
	CLOTHES WASHER
	SHOWER
	DISH WASHER

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DRAWING TITLE: PLUMBING PLAN
DRAWING NUMBER: P-1.0

PIPE SCHEDULES

1. VENT STACK PIPES TO BE SCHEDULE 40 PVC OR ABS
2. DRAIN LINES TO BE SCHEDULE 40 PVC OR ABS
3. WATER LINES TO BE NSF-PW & NSF-61 COMPATIBLE AND BE MADE OF COPPER, PEX OR CPVC

FIXTURE SCHEDULES

SYMBOL	FIXTURE TYPE	MODEL	MOUNTING HEIGHT	CONNECTIONS				COMMENTS
				CW	HW	WASTE	VENT	
WC1	WATER CLOSET	AMERICAN STANDARD CADET 3	FLOOR 12" OFF WALL	1/2"	-	4"	3"	1.28 GPF, PORCELAIN WHITE, ELONGATED SEAT, VITREOUS CHINA, MANUFACTURER'S MODEL NO. 3378.128ST.020
WC2	WATER CLOSET	AMERICAN STANDARD CADET 3	FLOOR 12" OFF WALL	1/2"	-	4"	3"	1.28 GPF, PORCELAIN WHITE, ELONGATED SEAT, VITREOUS CHINA, MANUFACTURER'S MODEL NO. 3378.128ST.020
WC3	WATER CLOSET	AMERICAN STANDARD CADET 3	FLOOR 12" OFF WALL	1/2"	-	4"	3"	1.28 GPF, PORCELAIN WHITE, ELONGATED SEAT, VITREOUS CHINA, MANUFACTURER'S MODEL NO. 3378.128ST.020
S1	KITCHEN SINK	VIGO UNDERMNT VG3019BK1	UNDER-COUNTER	1/2"	1/2"	2"	1-1/2"	UNDERMOUNT STAINLESS STEEL SINK W/ 3-1/2" DRAIN BASKET
SH1	SHOWER	MOEN ICON MOENTROL	78" A.F.F.	1/2"	1/2"	2"	1-1/2"	BRUSHED NICKEL, LEVER DESIGN, MODEL NO. TS2155BN
SH2	SHOWER	MOEN ICON MOENTROL	78" A.F.F.	1/2"	1/2"	2"	1-1/2"	BRUSHED NICKEL, LEVER DESIGN, MODEL NO. TS2155BN
SH3	SHOWER	MOEN ICON MOENTROL	78" A.F.F.	1/2"	1/2"	2"	1-1/2"	BRUSHED NICKEL, LEVER DESIGN, MODEL NO. TS2155BN
LAV1	LAVATORY	ZURN "ONE SYSTEM" NO. Z5311.261.1	34" A.F.F.	1/2"	1/2"	2"	1-1/2"	20" X 18" WHITE, WALL HUNG, ADA COMPLIANT, 4" CENTERSET FAUCET HOLES
LAV2	LAVATORY	ZURN "ONE SYSTEM" NO. Z5311.261.1	34" A.F.F.	1/2"	1/2"	2"	1-1/2"	20" X 18" WHITE, WALL HUNG, ADA COMPLIANT, 4" CENTERSET FAUCET HOLES
LAV3	LAVATORY	ZURN "ONE SYSTEM" NO. Z5311.261.1	34" A.F.F.	1/2"	1/2"	2"	1-1/2"	20" X 18" WHITE, WALL HUNG, ADA COMPLIANT, 4" CENTERSET FAUCET HOLES
W1	CLOTHES WASHER	WHIRLPOOL MODEL NO. LTE5243DQ	FLOOR	3/4"	3/4"	2"	2"	OATEY WASHING MACHINE OUTLET BOX W/ 3/4" BRASS MPT W/ 1/4 TURN

DOMESTIC WATER HEATER

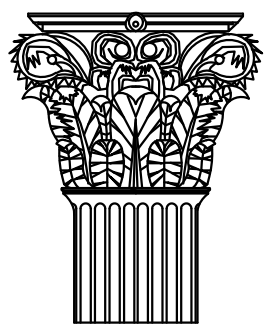
SYMBOL	MANUFACTURER	MODEL	TANK CAPACITY GALLONS	INPUT RATING Btu / HR	RECOVERY RATE @100°F RISE	FLUE DIAMETER	COMMENTS
WH1	A. O. SMITH	CYCLONE BTX-100	50	100,000	116	3" CPVC	GAS WATER HEATER, LOW NOx, BRASS DRAIN AND P & T VALVES, EXCEEDS NAECA REQUIREMENTS, 96% EFFICIENCY

NOTE:
SEE MECHANICAL AND HVAC PLANS FOR RADIATOR & BOILER SYSTEM LAYOUTS & SPECIFICATIONS

GENERAL PLUMBING NOTES

- COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH ROOF STRUCTURE LOCATIONS.
- COORDINATE ALL PLUMBING AND PIPING WITH OTHER EQUIPMENT.
- INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION AND INSTALLATION HEIGHT OF ALL PLUMBING FIXTURES & EXACT BUILDING DIMENSIONS.
- INSULATE ALL HOT WATER, COLD WATER AND P-TRAPS WITH TRAP WRAP.
- SEE SHEET P-1.1 FOR PLUMBING FIXTURE SCHEDULE.
- PROVIDE CHROME-PLATE STEEL ESCUTCHEONS FOR PIPES AT WALL PENETRATIONS.
- HOT AND COLD WATER RUNS ARE 3/4" UNLESS OTHERWISE SPECIFIED.
- ALL WATER RUNS ARE OVERHEAD AND SHALL BE CONCEALED WHERE EVER POSSIBLE. ANY EXPOSED PIPING SHALL BE COORDINATED WITH OWNER/BUILDER PRIOR TO INSTALLATION. SLOPE TO DRAIN.
- SEWER AND VENT RUNS ARE 3" UNLESS OTHERWISE SPECIFIED.
- HOT AND COLD WATER PIPING IS TO BE INSTALLED ACCORDING TO UPC. INSULATE HOT WATER AND COLD WATER SUPPLY PIPING UNDER 2" WITH R-4 FIBERGLASS INSULATION AND R-6 FOR PIPES ABOVE 2".
- CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILIT! LINES.
- ALL FLOOR DRAINS SHALL BE EQUIPPED WITH PROSET TRAP GUARD.
- ALL FIXTURES SHALL HAVE INDIVIDUAL CLEANOUTS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONSTRUCTION AND REPORT ANY INCONSISTENCIES TO THE OWNER/BUILDER BEFORE PROCEEDING WITH WORK
- AFFECTED BY SUCH INCONSISTENCIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE INTENT OF THE DESIGN AS SHOWN ON THE PLANS. ACTUAL CONDITIONS SHALL GOVERN OVER WRITEN DIMENSIONS, WRITEN DIMENSIONS SHALL GOVERN OVER ACTUAL DRAWING REPRESENTATION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFET! AND HEALTH.
- WATER LINES ON EXTERIOR WALLS SHALL BE ROUTED ON INTERIOR SIDE OF INSULATION.
- ALL POINTS-OF-CONNECTION SHOWN ON PLANS ARE APPROXIMATE. IT SHALL BE THE PLUMBING CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING PLUMBING LINES THAT ARE BEING CONNECTED TO.
- ALL VENTS THROUGH ROOF SHALL BE A MINIMUM OF 10'-0" FROM ANY MECHANICAL OR NATURAL FRESH AIR INTAKE.
- ALL MATERIALS LOCATED IN PLENUM AREAS OF BUILDING SHALL HAVE A FLAMESPREAD INDEX NOT GREATER THAN TWENTY-FIVE (25) AND A SMOKE DEVELOPED INDEX NOT GREATER THAN FIFTY (50), WHEN TESTED IN ACCORDANCE WITH NFPA 255.

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DRAWING TITLE: PLUMBING NOTES & SCHEDULES

DRAWING NUMBER:

P-1.1